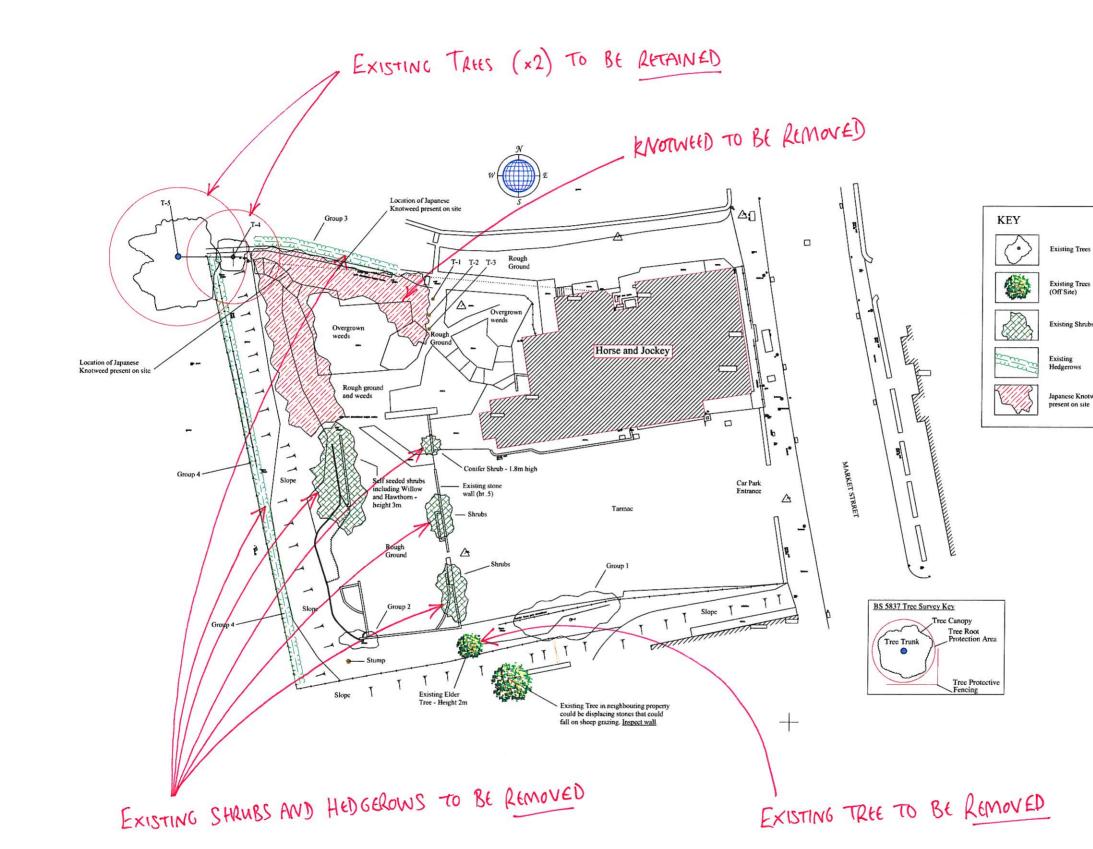


Image: Note of the section o	Lo not scale from this drawing, only dimensions provided are to be used. Any discrepancies must reported to Northmill Associates immediately. All Areas are design areas and use of these Areas for commercial purposes are to include allowances for variations inherent in design development and the construction processes. This drawing is the copyright and property of Northmill Associates and must not be reproduced without prior written permission.
---	---



Japanese Knotweed present on site

Landscape Review
Duridoeuperterien
THIS LANDSCAPE DESIGN HAS BEEN PRODUCED
BY THE BUSINESS FROM SITE CONDITIONS
AT THE TIME OF VIEWING AND THE SITE PLANS
PROVIDED, IT IS UNDERSTOOD THAT THERE ARE LIKELY TO BE DIFFERENCES IN THE DESIGN
LAYOUT AND THE ACTUAL ON SITE LAYOUT THE
DESIGN IS CONCEPTUAL AND IS TO BE AGREED IN
PRINCIPLE WITH THE ARCHITECTS CLIENT. ONCE AGREEMENT HAS BEEN REACHED THE CONTRACTOR
IS RESPONSIBLE FOR HEALTH & SAFETY AND
SHOULD BRING TO ATTENTION ANY SITUATION
THAT POTENTIALLY THREATENS PERSONS AND PROPERTY, THE CONTRACTOR IS RESPONSIBLE
FOR ERRORS AND OMMISIONS ON THEIR
DOCUMENTS AND FOR MEETING ALL REQUIREMENT
OF THE CONTRACT DOCUMENTS BEFORE COMMENCEMENT OF ANY WORK. IT IS THE
CONTRACTORS RESPONSIBILITY TO ENSURE ALL
WORK IS UNDERTAKEN CORRECTLY AND TO THE RELEVANT STANDARDS.
REVIEWED BY:
DATE:
COMMENTS:
0
NAADV - AP
WYKA-VII.
•
14 09/15
14/09/15
1710115
REVISIONS:
DELL DECONTION DATE
REV: DESCRIPTION: DATE:
REV:         DESCRIPTION:         DATE:           0         BS: 5837 TREE SURVEY         06/July/15
0 BS: 5837 TREE SURVEY 06/July/15
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN
0 BS: 5837 TREE SURVEY 06/July/15 BS: 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN:
0 BS: 5837 TREE SURVEY 06/July/15 BS: 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN:
0 BS: 5837 TREE SURVEY 06/July/15 BS: 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN: PLEASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012:
0 BS: 5837 TREE SURVEY 06/July/15 BS: 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN: PLEASE REPER TO THE ATACHED DOCUMENTS BS: 5837 - 2012. 1 TREE SURVEY SPREADSHEET DATA. DATED: 604 DULY 15
0 BS: 5837 TREE SURVEY 06/July/15 BS; 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN: PLEASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012: 1 TREE SURVEY SPREADSHEET DATA. DATED: 06M JULY 15 2 TABLE 1 - 054CADE CHART FOR CATEGORY
0 BS: 5837 TREE SURVEY 06/July/15 BS: 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN: PLEASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012. 1 TREE SURVEY SPREADSHEET DATA. DATED: 064 JULY 15
0 BS: 5837 TREE SURVEY 06/July/15 BS; 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN: PLEASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012: 1 TREE SURVEY SPREADSHEET DATA. DATED: 06M JULY 15 2 TABLE 1 - 054CADE CHART FOR CATEGORY
0 BS: 5837 TREE SURVEY 06/July/15 BS; 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN: PLEASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012: 1 TREE SURVEY SPREADSHEET DATA. DATED: 06th JULY 15 2 TABLE 1- CASCADE CHART FOR CATEGORY GRADING.
0 BS: 5837 TREE SURVEY 06/July/15 BS: 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN: PLEASE REPER TO THE ATACHED DOCUMENTS BS: 5537 - 2012 1 TREE SURVEY SPREADSHEET DATA. DATED: 60M TULY 15 2 TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.
0 BS: 5837 TREE SURVEY 06/July/15 BS: 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN: PLEASE REPER TO THE ATACHED DOCUMENTS BS: 5537 - 2012 1 TREE SURVEY SPREADSHEET DATA. DATED: 60M TULY 15 2 TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.
0 BS: 5837 TREE SURVEY 06/July/15 BS: 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN: PLEASE REPER TO THE ATACHED DOCUMENTS BS: 5537 - 2012 1 TREE SURVEY SPREADSHEET DATA. DATED: 60M TULY 15 2 TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.
0 BS: 5837 TREE SURVEY 06/July/15 BS: 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN: PLEASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012 1 TREE SURVEY SPREADSHEET DATA. DATED: 6% DLV 15 2 TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN:           PLEASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           1         TREE SURVEY SWEADSHEET DATA. DATED: 06th JULY 15         2           2         TABLE 1 - CASCADE CHART FOR CATEGORY GRADNG.         CASCADE CHART FOR CATEGORY GRADNO.           DE RED CIRCLES AROUND THE TREES REPRESENT THE RED TIDN OF THE TREE ROOT PROTECTION THE REPORTION OF THE TREE ROOT PROTECTION THE ROOM LINES AROUND THE TREES REPRESENT THE ROOM LINES AROUND THE TREES REPRESENT THE ROOM LINES AROUND THE TREES REPRESENT THE ROOM LINES AROUND THE TREES REPRESENT
0 BS: 5837 TREE SURVEY 06/July/15 BS: 5837 - 2012 TREE SURVEY SITE PLAN KEY PLAN: PLEASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012 1 TREE SURVEY SPREADSHEET DATA. DATED: 6% DLV 15 2 TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN:           PLEASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           1         TREE SURVEY SWEADSHEET DATA. DATED: 0660 JULY 15         DATED: 0660 JULY 15           2         TABLE 1 - CASCADE CHART FOR CATEGORY GRADNO.         CARE REPRESENT THE ROD CITCLES AROUND THE TREES REPRESENT THE ROD CITCLES AROUND THE TREES REPRESENT THE ROM LINES AROUND THE TREE ROM TO THE TREES REPRESENT THE ROM LINES AROUND THE TREES REPRESENT THE ROM LINES AROUND THE TREES REPRESENT           DE BROW LINES AROUND THE TREE ROM TO THE TREES REPRESENT           DE BROW LINES AROUND THE TREE ROM TO THE TREES REPRESENT           DE BROW LINES AROUND THE TREE ROM TO TH
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           KEY PLAN:         PLEASE REFER TO THE ATACHED DOCUMENTS           BS: 5837 - 2012         THE ATACHED DOCUMENTS           Comparison         THE ATACHED DOCUMENTS           DATED GGA JULY 15         2           2 TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.         CATEGORY BOTHE TREE REOT INCOMENT NET RE MONTANCE OF THE TREE REOT INCOMENT.           DIE RED CIRCLES AROUND THE TREES REPRESENT THE ROSTING OF THE TREE ROOT ENDICITIVE FRACTION.         WILLOWNES AROUND THE TREES REPRESENT THE ROSTING OF THE TREE ROOT ENDICTIVE FRACTION.           VIDE DATA FOR CASE OF THE TREE ROOT ROTECTIVE FRACTION.         WILLOWHER TREE ROOT ROTECTIVE FRACTION.
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           KEY PLAN:         PLEASE REFER TO THE ATACHED DOCUMENTS           BS: 5837 - 2012         TREE SURVEY SITE PLAN           VERY PLAN:         PLEASE REFER TO THE ATACHED DOCUMENTS           BS: 5837 - 2012         TREE SURVEY SPREADSHEEL DATA.           DATED GGA JULY 15         2           2 TABLE 1- C-ASCADE CHART FOR CATEGORY GRADING.         THE REGIMENT FOR THE TREE ROOT ENTORCTION AREAS.           DIE RED CIRCLES AROUND THE TREES REPRESENT THE POSITION OF THE TREE ROOT ENTORCE TOWARDS AROUND THE TREES REPRESENT THE FOSTION OF THE TREE MOTION CONC.           VIELDAN FORCESTRY GROUP           WILLOWHERB CLOSE           WILLOWHERB CLOSE           UNILLOWHERD CLOSE           UNILLOWHERD CLOSE           UNILLOWHERD CLOSE           UNILLOWHERD CLOSE           UNILLOWHERD CLOSE           UNILLOWHERD CLOSE
0         BS: \$837 TREE SURVEY         06/lwly/15           BS; \$837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN:           PLEASE REFER TO THE ATACHED DOCUMENTS BS: \$837 - 2012         TREE SURVEY SITE PLAN           PLEASE REFER TO THE ATACHED DOCUMENTS BS: \$837 - 2012         TREE SURVEY SITE DATA. DATED: GBA JULY 15           1         TREE SURVEY SITE ADDATE         DATE. DATED: GBA JULY 15           2         TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.           DIE RED CIRCLES ABOUND THE TREES REPRESENT INE POSITION OF THE TREE REOT INFORECTION AREAS.           DIE RED CIRCLES ABOUND THE TREES REPRESENT INFE POSITION OF THE TREE ROOTECTIVE FROMECTION AREAS.           VILLOWHERB CLOSE HUNTINGTON CHESTER         Tel: 0124 325069 CHESTIRE
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN:           PLEASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           1         TREE SURVEY SPREADSHEET DATA. DATED: 0666 JULY 15         DATED: 0666 JULY 15           2         TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.         OF THE TREE ROOT INCIDENTION OF THE TREE ROOT INCIDENTION HE RED CIRCLES AROUND THE TREES REPRESENT HE ROOTING OF THE TREE ROOT INCIDENTION OF THE TREE ROOT INCIDENTION HE POSITION OF THE TREE ROOTENT INCIDENTION HE POSITION OF THE TREE ROOTENT INCIDENTION VIEW MOD OF THE TREE ROOTENT INCIDENTION HE POSITION OF THE TREE ROOTENT INCIDENTION HE POSITION OF THE TREE ROOTENT INCIDENTION VIEW MOD OF THE TREE ROOTENT INCIDENTION VIEW MOD OF THE TREE ROOTENT INCIDENTION WILLOWHERB CLOSE HUNTINGTON CHESTER         Tel 01244 325609
0         BS: \$837 TREE SURVEY         06/lwly/15           BS: \$5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN:           FLEASE REFER TO THE ATACHED DOCUMENTS BS: \$5837 - 2012         TREE SURVEY SITE PLAN           FLEASE REFER TO THE ATACHED DOCUMENTS BS: \$5837 - 2012         TREE SURVEY SITE PLAN           FLEASE REFER TO THE ATACHED DOCUMENTS BS: \$5837 - 2012         TREE SURVEY SITE DATA. DATED: GBA JULY 15           1         TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.         TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.           DIE RED CIRCLES ABOUND THE TREES REPRESENT THE BROWN LINES ABOUND THE TREES REPRESENT THE OSTITION OF THE TREE ROTICITIVE FENCING.           VURLAUMANT DATE TREES REPRESENT THE OSTITION OF THE TREE ROTICITIVE FENCING.           VURLAUMANT DATE TREES REPRESENT THE OSTITION OF THE TREE ROTICITIVE FENCING.           VURLAUMANT DATE TO THE TREE ROTICITIVE FENCING CHESHIRE CH36 AV           WILLOWHERB CLOSE HUNTINGTON CHESHIRE CH36 AV
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           FEASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012         TREE SURVEY SITE PLAN           FEASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012         TREE SURVEY SITE PLAN           TEASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012         TREE SURVEY SITE PLAN           TEASE 1- C-SCADE CHART FOR CATEGORY GRADING.         TABLE 1- C-SCADE CHART FOR CATEGORY GRADING.           DIE RED CIRCLES AROUND THE TREES REPRESENT THE MOSTING OF THE TREE ROOT INFORCECTION AREAS.         TRE SURVEY SITE PLAN           OUTBAIN FORCESTIVE FROM THE TREES REPRESENT THE ROSTING OF THE TREE ROOT ROTECTIVE FROM THE COLLECTIVE FROM THE TREE ROOT ROTECTIVE FROM THE DOT THE TREE ROOT ROTECTIVE FROM THE COLLECTIVE FROM THE TREE ROOT ROTECTIVE FROM THE COLLECTIVE FROM THE TREE ROOT ROTECTIVE COLLECTIVE FROM THE TREE ROOT ROTECTIVE COLLECTIVE FROM THE TREE ROOT ROTECTIVE COLLECTIVE FROM THE TREE ROOT ROTECTIVE FROM THE COLLECTIVE FROM THE TREE ROOT ROTECTIVE COLLECTIVE FROM THE TREE ROOT ROTECTIVE FROM THE COLLECTIVE FROM THE TREE ROOT ROTECTIVE FROM THE TREE ROOT ROTECTIVE COLLECTIVE FROM THE TREE ROOT ROTECTIVE FROM THE TREE ROOT ROTECTIVE COLLECTIVE FROM THE TREE ROOT ROTECTIVE FROM THE TREE ROOT ROTECTIVE COLLECTIVE FROM THE TREE ROOT ROTECTIVE FROM THE TREE ROOT ROTECTIVE COLLECTIVE FROM THE TREE ROOT ROTECTIVE FROM
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           1 TRE SURVEY SPREADSHEET DATA. DATED GB JULY 13         DATA           1 TABLE 1- CASCADE CHART FOR CATEGORY GRADING.         GRADING           THE BOSTION OF THE TREE REPRESENT THE POSITION OF THE TREE REPRESENT THE ROSTION OF THE TREE PROTECTIVE FEACING.           VILLOWHERD CLOSE HUNTINGTON CHESTER         Tcl. 01244 325669           CHESHIRE CHESHIRE CHESHIRE CHESHIRE Whene: way subinformently could Date officeog urbanforestry could CHESTIF           Mr. Mark Whitfield /
0         BS: \$837 TREE SURVEY         06/July/15           BS: \$837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           KEY PLAN:         FLEASE REFER TO THE ATACHED DOCUMENTS BS: \$837 - 2012           1         TREE SURVEY SPREADSHEET DATA. DATED: GGN JULY 15           2         TABLE 1- CASCADE CHART FOR CATEGORY GRADING.           DIE RED CIRCLES AROUND THE TREES REPRESENT INE ROSTING OF THE TREE ROT INFORCECTIVE RESOLUTION OF THE TREE ROT INFORCECTIVE RESOLUTION OF RESOLUTION OF THE TREE ROT INFORCECTIVE RESOLUTION CHESTER RESOLUTION OF THE TREE ROT INFORCECTIVE RESOLUTION OF RESOLUTION OF THE TREE ROT INFORCECTIVE RESOLUTION OF RESOLUTION OF THE TREE ROT INFORCECTIVE RESOLUTION CHESTER RESOLUTION OF THE TREE ROT INFORCECTIVE RESOLUTION OF RESOLUTION OF RESOLUTION OF RESOLUTION OF RESOLUTION OF RESOLUTION OF RESOLUTION OF RESOLUTION O
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           1 TRE SURVEY SPREADSHEET DATA. DATED GB JULY 13         DATA           1 TABLE 1- CASCADE CHART FOR CATEGORY GRADING.         GRADING           THE BOSTION OF THE TREE REPRESENT THE POSITION OF THE TREE REPRESENT THE ROSTION OF THE TREE PROTECTIVE FEACING.           VILLOWHERD CLOSE HUNTINGTON CHESTER         Tcl. 01244 325669           CHESHIRE CHESHIRE CHESHIRE CHESHIRE Whene: way subinformently could Date officeog urbanforestry could CHESTIF           Mr. Mark Whitfield /
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           PLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           1 TRE SURVEY SPREADSHEET DATA. DATED GB JULY 13         DATA           1 TABLE 1- CASCADE CHART FOR CATEGORY GRADING.         GRADING           THE BOSTION OF THE TREE REPRESENT THE POSITION OF THE TREE REPRESENT THE ROSTION OF THE TREE PROTECTIVE FEACING.           VILLOWHERD CLOSE HUNTINGTON CHESTER         Tcl. 01244 325669           CHESHIRE CHESHIRE CHESHIRE CHESHIRE Whene: way subinformently could Date officeog urbanforestry could CHESTIF           Mr. Mark Whitfield /
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           FLEASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           1         TREE SURVEY SITE ATACHED DOCUMENTS           55: 5837 - 2012         1           1         TREE SURVEY SITE ATACHED DOCUMENTS           55: 5837 - 2012         1           1         TREE SURVEY SITE ATACHED DOCUMENTS           55: 5837 - 2012         1           1         TREE SURVEY SITE ATACHED TACHED DOCUMENTS           55: 5837 - 2012         1           1         TREE SURVEY SITE ADSHEEL DATA           DATED GM JULY 13         2           2         TABLE 1 - CASCAPE CHART FOR CATEGORY CRADING.           DIE RED CIRCLES AROUND THE TREES REPRESENT THE POSITION OF THE TREE ROTH KOTECTIVE FEACTOR.           VERBAUE OF THE TREE ROTH KOTECTIVE FEACTOR.           Q         UILDOWNER D CLOSE           HUNTINGTON         THE WONGE: a wow submit of the CLOSE           HUNTINGTON         Email: office@ urbanforestry.coak           CHESTER         Tel 01244 32569           CHESTER         Tel 01244 32569           CHESTER         Mr. Mark. Whitfield / Northmill Associates Limited           SITE ADDRESS:         SITE ADDRESS:
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           FLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           1         TREE SURVEY SPREADSHEEL DATA. DATED: GBA JULY 15         2           1         TREE SURVEY SPREADSHEEL DATA. DATED: GBA JULY 15         2           2         TABLE 1- CASCAPE CHART FOR CATEGORY CRADING.         2           DIE RED CIRCLES AROUND THE TREES REPRESENT INE ROW TIMES ANOUND THE TREES REPRESENT DHE NOTION OF THE TREE ROOT INCIDENTION.           Q         Urban Forestry Group What was do Void           2         WILLOWHERD CLOSE HUNTINGTON CHESTIR           2         WILLOWHERD CLOSE HUNTINGTON CHESTIR           2         Will COMMERT Chestire           Mr. Mark Whitfield / Northmill Associates Limited           SITE ADDRESS:           Land Surrounding the Horse and Jockey, Market Street,
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           PEASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012         TREE SURVEY SITE PLAN           VEX PLAN:         PLASE REFER TO THE ATACHED DOCUMENTS BS: 5837 - 2012           1         TRES SURVEY SPREADSHEET DATA. DATED: 066 JULY 15           2         TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.           DIE RED CIECLES AROUND THE TREES REPRESENT THE BOSTINO AD THE TREE COT PROTECTIVE AREAS.           DIE RED CIECLES AROUND THE TREES REPRESENT THE DOSTION OF THE TREE COT PROTECTIVE FROME OF THE TREE PROTECTIVE FROME OF WORK OF WITH WOR OF WHET THE PROTECTIVE FROME OF CHESTIFR           VILLOWHERB CLOSE HUNTINGTON CHESTER         WILLOWHERB CLOSE UNITINGTON CHESTIFR           VILLOWHERB CLOSE HUNTINGTON CHESTIFR         Webate: may autoinforestry co al Data officing urbanforestry co al CLIENT: Mr. Mark Whitfield / Northmill Associates Limited           SITE ADDRESS: Land Surrounding the Horse and Jockey, Market Street, See field,
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           PEASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           TREE SURVEY SPREADSHEET DATA. DATED: 066 JULY 15         TREE SURVEY SPREADSHEET DATA. DATED: 066 JULY 15           1 TREE SURVEY SPREADSHEET DATA. DATED: 066 JULY 15         TABLE 1- 0.65CADE CHART FOR CATEGORY GRADING.           DIE RED CIRCLES AROUND THE TREES REPRESENT THE BOSTINO AD THE TREE OF TROTECTIVE FREESENT THE BOSTINO AD THE TREES REPRESENT THE BOSTINO AD THE TREES REPRESENT THE BOSTINO AD THE TREES REPRESENT THE ADSTRONG OF THE TREE OF TROTECTIVE FRECTOR.           VUEDAIN FORCESTING UURDAIN FOR THE TREE OF TROTECTIVE FRECTOR.           VILLOWHERB CLOOSE HUNTINGTON CHESTER CHESTIRE CHESTER CHESTIRE CHESTIRE Webatte: away undufficet or ad CHESTIRE CHESTIRE Mr. Mark Whitfield / Northmill Associates Limited           SITE ADDRESS: Land Surrounding the Horse and Jockey, Market Street, Lancashire.
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           PEASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           TREE SURVEY SPREADSHEET DATA. DATED: 066 JULY 15         TREE SURVEY SPREADSHEET DATA. DATED: 066 JULY 15           1 TREE SURVEY SPREADSHEET DATA. DATED: 066 JULY 15         TABLE 1- 0.65CADE CHART FOR CATEGORY GRADING.           DIE RED CIRCLES AROUND THE TREES REPRESENT THE BOSTINO AD THE TREE OF TROTECTIVE FREESENT THE BOSTINO AD THE TREES REPRESENT THE BOSTINO AD THE TREES REPRESENT THE BOSTINO AD THE TREES REPRESENT THE ADSTRONG OF THE TREE OF TROTECTIVE FRECTOR.           VUEDAIN FORCESTING UURDAIN FOR THE TREE OF TROTECTIVE FRECTOR.           VILLOWHERB CLOOSE HUNTINGTON CHESTER CHESTIRE CHESTER CHESTIRE CHESTIRE Webatte: away undufficet or ad CHESTIRE CHESTIRE Mr. Mark Whitfield / Northmill Associates Limited           SITE ADDRESS: Land Surrounding the Horse and Jockey, Market Street, Lancashire.
0         BS: \$837 TREE SURVEY         06/July/15           BS: \$837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           FLASE REFER TO THE ATACHED DOCUMENTS BS: \$837 - 2012         TREE SURVEY SITE PLAN           I TREE SURVEY SPREADSHEEL DATA DATED: GBA JULY 15         2           1 TREE SURVEY SPREADSHEEL DATA DATED: GBA JULY 15         2           2 TABLE 1- CASCAPE CHART FOR CATEGORY CRADING.         2           DIE RED CIRCLES AROUND THE TREES REPRESENT MEE SURVEY SPREADSHEEL DATA.         2           DIE RED CIRCLES AROUND THE TREES REPRESENT MEE SURVEY DATE TREE ROOT INFORCTION THE ROOM OF THE TREE ROOT INFORCTION         2           2 WILLOWHERD CLOSE HUNTINGTON CHESTIRR UNDER OFFICE WENDER: avoid Altoretty, coak CHESTIR CHAS ANY         WeNDE: avoid and forcety, coak CLIENT: Mr. Mark Whitfield / Northmill Associates Limited           SITE ADDRESS: Lancashire.         Lancashire.         2           CALE:         1:200 @ A1
0         BS: \$837 TREE SURVEY         06/July/15           BS: \$837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           FLASE REFER TO THE ATACHED DOCUMENTS BS: \$837 - 2012         TREE SURVEY SITE PLAN           I TREE SURVEY SPREADSHEEL DATA DATED: GBA JULY 15         2           1 TREE SURVEY SPREADSHEEL DATA DATED: GBA JULY 15         2           2 TABLE 1- CASCAPE CHART FOR CATEGORY CRADING.         2           DIE RED CIRCLES AROUND THE TREES REPRESENT MEE SURVEY SPREADSHEEL DATA.         2           DIE RED CIRCLES AROUND THE TREES REPRESENT MEE SURVEY DATE TREE ROOT INFORCTION THE ROOM OF THE TREE ROOT INFORCTION         2           2 WILLOWHERD CLOSE HUNTINGTON CHESTIRR UNDER OFFICE WENDER: avoid Altoretty, coak CHESTIR CHAS ANY         WeNDE: avoid and forcety, coak CLIENT: Mr. Mark Whitfield / Northmill Associates Limited           SITE ADDRESS: Lancashire.         Lancashire.         2           CALE:         1:200 @ A1
0     BS: 5837 TREE SURVEY     06/July/15       BS: 5837 - 2012 TREE SURVEY SITE PLAN       KEY PLAN:       PLEASE REFER TO THE ATACHED DOCUMENTS       BS: 5837 - 2012       TREE SURVEY SPREADSHEET DATA.       DATED: GAS JULY 15       2 TABLE 1- CASCADE CHART FOR CATEGORY GRADING.       DIE RED CIRCLES AROUND THE TREES REPRESENT THE BOSTITON OF THE TREE OF PROTECTIVE FERCENCY.       DIE RED CIRCLES AROUND THE TREES REPRESENT THE FOSTITON OF THE TREE OF PROTECTIVE FENCENCY.       Q Urban Forestry Group White one do Worket       2 WILLOWHERB CLOSE       HUNTINGTON       CHESHIR       WILLOWHERB CLOSE       HUNTINGTON       CHESHIR       WILLOWHERB CLOSE       HUNTINGTON       CHESHIR       Wrate of Coope urbanforestry could Chesting       Mr. Mark Whitfield / Northmill Associates Limited       SITE ADDRESS:       Lancashire.       CALE:       L200 @ A1       CALE:       L200 @ A1
0         BS: \$837 TREE SURVEY         06/July/15           BS: \$837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           FLASE REFER TO THE ATACHED DOCUMENTS BS: \$837 - 2012         TREE SURVEY SITE PLAN           I TREE SURVEY SPREADSHEEL DATA DATED: GBA JULY 15         2           1 TREE SURVEY SPREADSHEEL DATA DATED: GBA JULY 15         2           2 TABLE 1- CASCAPE CHART FOR CATEGORY CRADING.         2           DIE RED CIRCLES AROUND THE TREES REPRESENT MEE SURVEY SPREADSHEEL DATA.         2           DIE RED CIRCLES AROUND THE TREES REPRESENT MEE SURVEY DATE TREE ROOT INFORCTION THE ROOM OF THE TREE ROOT INFORCTION         2           2 WILLOWHERD CLOSE HUNTINGTON CHESTIRR UNDER OFFICE WENDER: avoid Altoretty, coak CHESTIR CHAS ANY         WeNDE: avoid and forcety, coak CLIENT: Mr. Mark Whitfield / Northmill Associates Limited           SITE ADDRESS: Lancashire.         Lancashire.         2           CALE:         1:200 @ A1
0     BS: 5837 TREE SURVEY     06/July/15       BS: 5837 - 2012 TREE SURVEY SITE PLAN     KEY PLAN       FLEASE REFER TO THE ATACHED DOCUMENTS       BS: 5837 - 2012       TREE SURVEY SITE PLAN       KEY PLAN:       PLEASE REFER TO THE ATACHED DOCUMENTS       BS: 5837 - 2012       TREE SURVEY SPREADSHEEL DATA.       DATED. GGA JULY 13       2 TABLE 1- CASCAPE CHART FOR CATEGORY       GRADING.       THE RED CIRCLES AROUND THE TREES REPRESENT       THE ROSTING OF THE TREE REOT KNOTECTIVE FENCTION       AREAS.       DE RED CIRCLES AROUND THE TREES REPRESENT       THE ROSTING OF THE TREE REOT KNOTECTIVE FENCTION       AREAS.       DE REMONILINES AROUND THE TREES REPRESENT       THE ROSTING OF THE TREE REOT KNOTECTIVE FENCTION       CHESTER     Tel 01244 325699       CHESTER     Tel 01244 325699       CHESTER     Tel 01244 325699       CHESTER     Tel 01244 325699       CHESTER     Tel 0124 325699       CHESTER     Tel 01244 325699       CHESTER     Tel 01244 325699       CHESTER     Tel 0124 32569
0     BS: 5837 TREE SURVEY     06/July/15       BS: 5837 - 2012 TREE SURVEY SITE PLAN     KEY PLAN       FLEASE REFER TO THE ATACHED DOCUMENTS       BS: 5837 - 2012       TREE SURVEY SITE PLAN       KEY PLAN:       PLEASE REFER TO THE ATACHED DOCUMENTS       BS: 5837 - 2012       TREE SURVEY SPREADSHEEL DATA.       DATED. GGA JULY 13       2 TABLE 1- CASCAPE CHART FOR CATEGORY       GRADING.       THE RED CIRCLES AROUND THE TREES REPRESENT       THE ROSTING OF THE TREE REOT KNOTECTIVE FENCTION       AREAS.       DE RED CIRCLES AROUND THE TREES REPRESENT       THE ROSTING OF THE TREE REOT KNOTECTIVE FENCTION       AREAS.       DE REMONILINES AROUND THE TREES REPRESENT       THE ROSTING OF THE TREE REOT KNOTECTIVE FENCTION       CHESTER     Tel 01244 325699       CHESTER     Tel 01244 325699       CHESTER     Tel 01244 325699       CHESTER     Tel 01244 325699       CHESTER     Tel 0124 325699       CHESTER     Tel 01244 325699       CHESTER     Tel 01244 325699       CHESTER     Tel 0124 32569
0     BS: 5837 TREE SURVEY     06/July/15       BS: 5837 - 2012 TREE SURVEY SITE PLAN       KEY PLAN:       PLEASE REFER TO THE ATACHED DOCUMENTS       BS: 5837 - 2012       TREE SURVEY SPREADSHEET DATA.       DATED OGN JULY 15       2       2       DE RED CIRCLES AROUND THE TREES REPRESENT       THE ROSTINO AD THE TREE ROOT PROTECTION AREAS.       DIE RED CIRCLES AROUND THE TREES REPRESENT       THE ROSTINO AD THE TREE ROOT PROTECTION AREAS.       OUTBAIN FORCESTING THE TREES REPRESENT       THE ROSTINO AD THE TREE ROOT PROTECTION AREAS.       OUTBAIN FORCESTING THE TREES REPRESENT       THE ROSTINO AD THE TREE ROOT REPORTS       OUTBAIN FORCESTING THE TREES REPRESENT       THE ROSTINO AD THE TREE ROOT REPORTS       OUTBAIN FORCESTING AROUND THE TREES REPRESENT       THE MOSTINO AD THE TREE ROOT REPORTS       CHESTER     Tel 0124 325609       CHESTER
0         BS: 5837 TREE SURVEY         06/July/15           BS: 5837 - 2012 TREE SURVEY SITE PLAN         KEY PLAN           FLASE REFER TO THE ATACHED DOCUMENTS         BS: 5837 - 2012           1         TREE SURVEY SITE PLAN           KEY PLAN:         FLASE REFER TO THE ATACHED DOCUMENTS           SS: 587 - 2012         1           1         TREE SURVEY SITE ADSHEET DATA.           DATED: GRA JULY 15         2           1         TABLE 1-CASCAPE CHART FOR CATEGORY GRADING.           DIE END CIRCLES AROUND THE TREES RUPRESENT MORESTION OF THE TREE PROTECTIVE FEACTOR.           VUEDAN FORESTRY GROUP           VERBANCOOPT THE TREE ROTECTIVE FEACTOR.           VUEDAN FORESTRY GROUP           VERDANCE THE REFERENT TRE RUPRESENT THE POSITION OF THE TREE ROTECTIVE FEACTOR.           VUEDAN FORESTRY GROUP           VERDANCE TO THE TREE RUPRESENT THE POSITION OF THE TREE RUPRESENT THE POSITION OF THE TREE RUPRESENT THE POSITION OF THE TREE RUPRESENT THE ROTECTION           CHESTIRE         Webait: avv.utbutforcity.coak           CHESTIRE         Teil 1244 325069           CHESTIRE         Webait: avv.utbutforcity.coak           CLIENT:         Mr. Mark Whitfield / Northmill Associates Limited           SITE ADDRESS:         Lancashire.           Lancashire.         CALE:         1:200 @ A1

NOTES LECEND



Do not scale from this drawing, only dimensions provided are to be used. Any discrepancies must reported to Northmill Associates immediately. All Areas are design areas and use of these Areas for commercial purposes are to include allowances for variations inherent in design development and the construction processes. This drawing is the copyright and property of Northmill Associates and must not be reproduced without prior written permission. THIS DRAWING IS FOR PLANNING PURPOSES ONLY APPLICATION BOUNDARY LANDSCAPE & BOUNDARY TREATMENT KEY: New c.1200mm high close-boarded timber fence Existing coursed stone wall retained & repointed where required New c. 1200mm high random coursed stone wall to match adjacent existing stone walls (coping, coursing etc). New c.1200mm high close boarded timber gate to match fence. New painted timber front gate. Colour to be agreed. Height to match adjacen Tarmac with concrete kerb to edges, in accordance with adoptable standards. Tarmac to car parking spaces Pre Cast Concrete (PCC) paving. Colour: Natural/ grey Asphalt + resin bonded pathway. Colour: Buff / Brown Granite setts - traffic calming rumble strip, in accordance with adoptable standards. OLC Heritage Street lighting 6m column. Colour: Black Soft landscaping - by owner. --/--/--Rev Description By Chk Date NORTHMILL associates 1 North Parade Parsonage Gardens Manchester M3 2NH 0161 839 4411 mcr@northmillassociates.com Project **85 MARKET STREET** Client MR M. SKILLIN Drawing PROPOSED BOUNDARY TREATMENTS Date: 20/07/2015 Project No: 2340 Scale @ A1 1:100 Checked: MW Status: PLANNIN G Drawn: DL Drawing No: Revision: L(02)14

P2

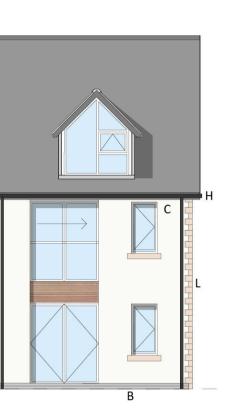
MARKET STREET



HOUSE TYPE 1 (SEMI DETACHED PAIR) SOUTH ELEVATION

EAST ELEVATION

B NORTH ELEVATION WEST ELEVATION Do not scale from this drawing, only dimensions provided are to be used. Any discrepancies must reported to Northmill Associates immediately. All Areas are design areas and use of these Areas for commercial purposes are to include allowances for variations inherent in design development and the construction processes. This drawing is the copyright and property of Northmill Associates and must not be reproduced without prior written nermission permission.

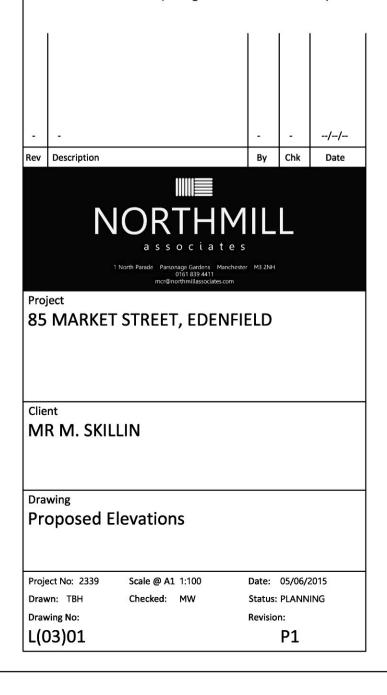


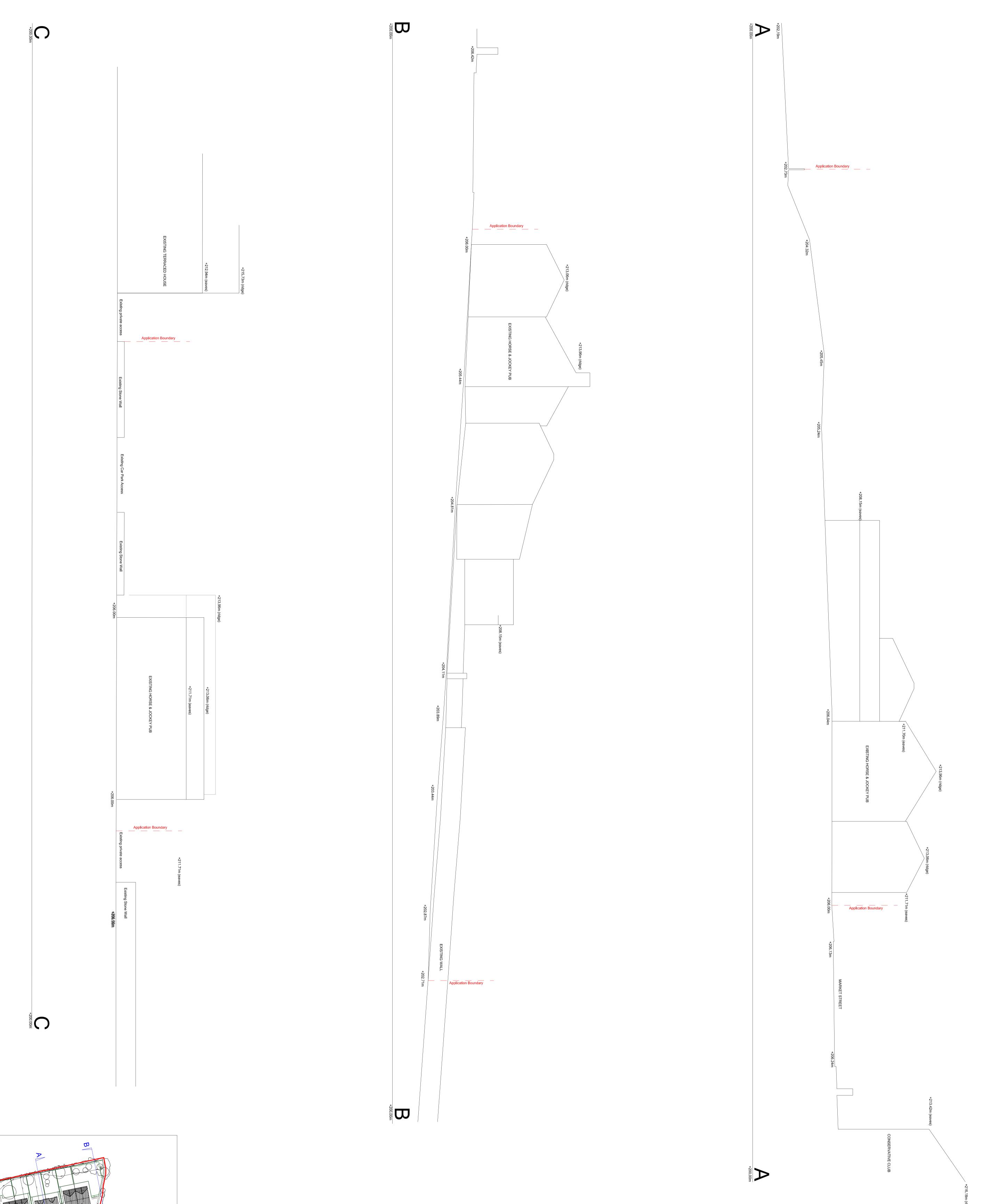


MATERIALS LEGEND:

- A Coursed local stone (type, coursing & mortar to be agreed)
- B Engineering brickwork (colour: charcoal)
- C Through render (colour: light cream / natural white)
- D Clay roof tiles with fascia / barge board (colour: dark grey)
- E Front / rear door (colour: indicative only and to be agreed)
- F Sliding / opening double glazed patio / balcony door
- G Double glazed windows (frame colour: dark grey)
- H Polyester powder coated rainwater goods (colour: dark grey)
- J Second floor rooflight
- K Timber cladding (type to be confirmed)
- L Cast stone quoins, features, lintols & sills

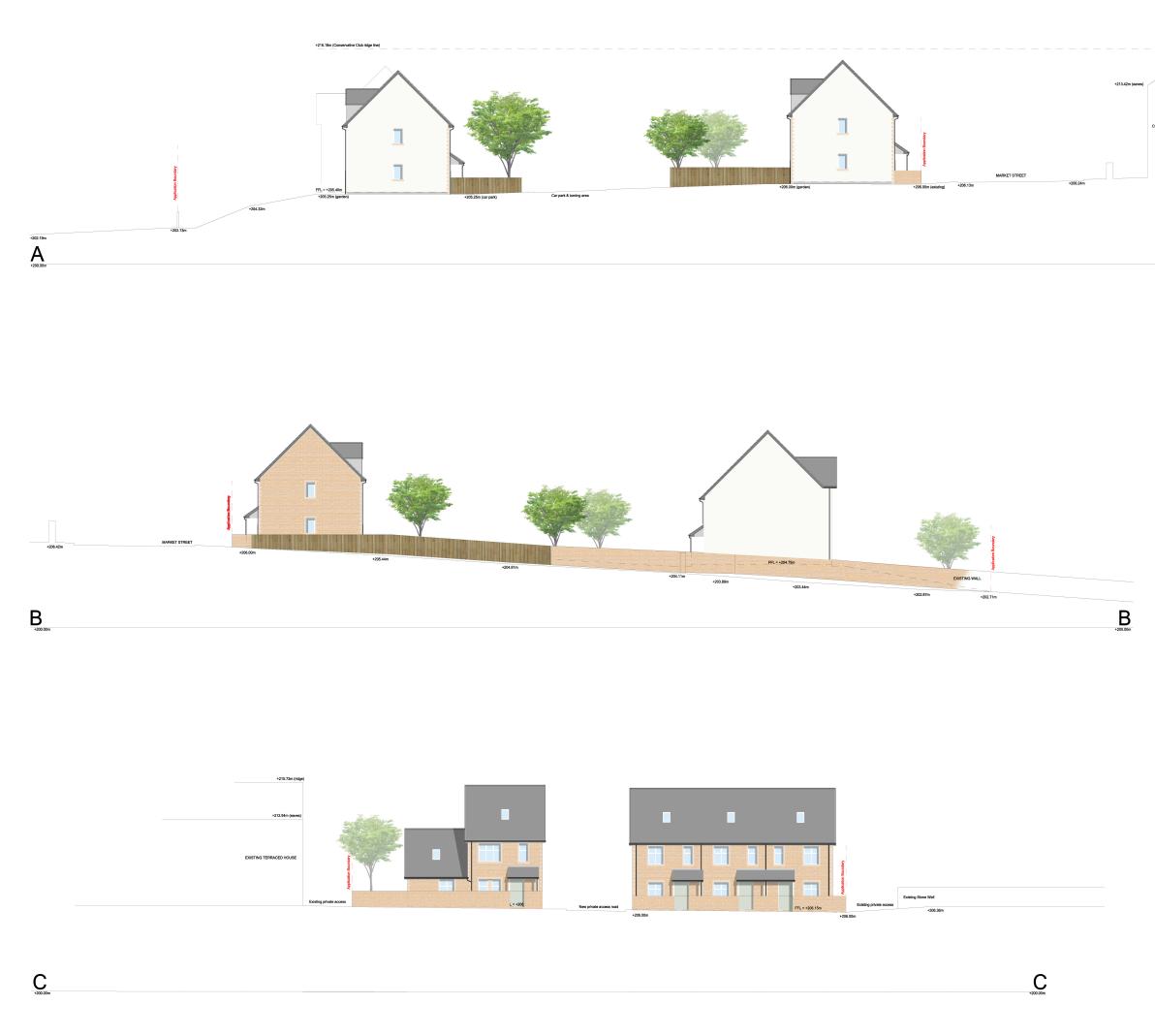
Note: window & door opening direction indicative only.



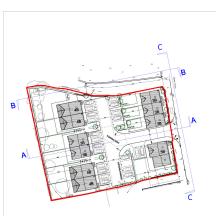






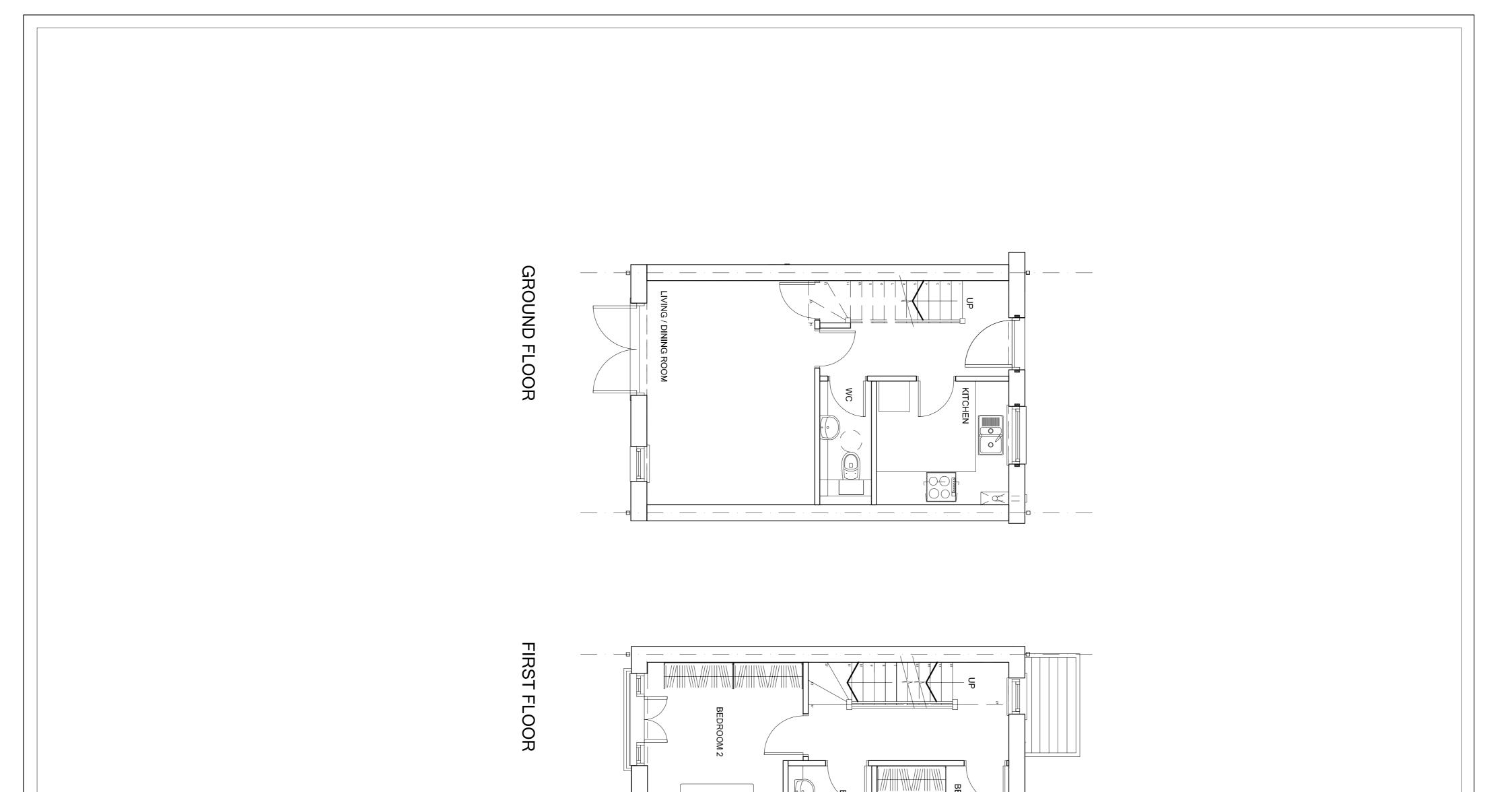


Do not scale from this drawing, only dimensions provided are to be used, why discrepancies must reported to Northmi I Associaties Immediately. All hass are design areas and use of these Areas for commercial purposes are to include sitewances for variations inherent in design development and the contruction processes. This drawing is the copyright and property of vorthmil Associaties and must not be reproduced without prior writien

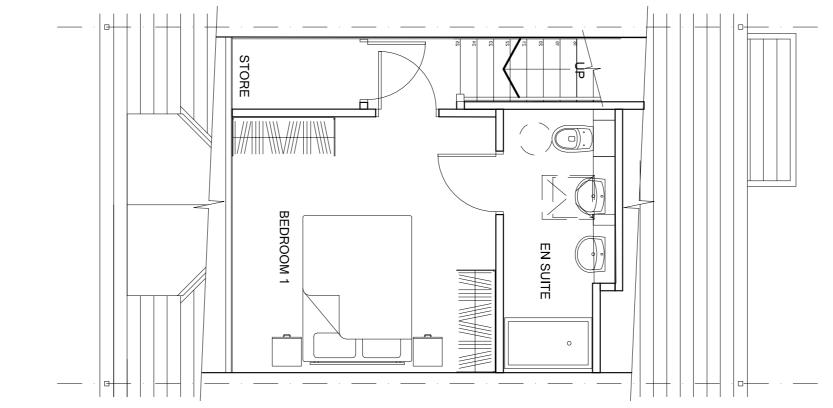


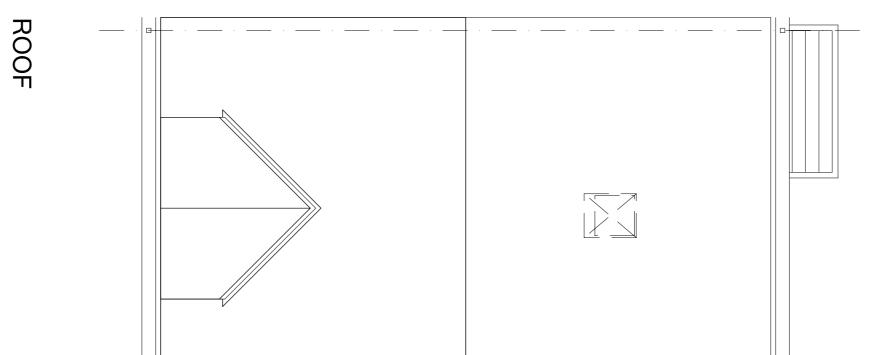
A

							-/-,					
Rev De	cription				By	Chk	Dat					
		NOR	ΤН	MI	T	Г						
			socia									
			Nonage Gardens 1 E191309-6411									
#167209.6411 microiteniliaaociates.com												
Project 85 N	ARKE	T STREE	l sothesilataocide	1.007	.D							
	IARKE	eei	l sothesilataocide	1.007	.D							
85 N	ARKE	T STREE	l sothesilataocide	1.007	.D							
85 N		T STREE	l sothesilataocide	1.007	.D							
85 N		T STREE	l sothesilataocide	1.007	.D							
Client	и. ski	T STREE	l sothesilataocide	1.007	.D							
85 M Client MR I	И. SKI 8	ILLIN	T, EDE	NFIEL		ons						
85 M Client MR I	И. SKI 8	T STREE	T, EDE	NFIEL		ons						
85 M Client MR I	И. SKI 8	ILLIN	T, EDE	NFIEL		ons						
Client MR I Drawin Prop	И. SKI 8	LLIN Site Sec	T, EDE	NFIEL	ati	0 <b>0</b> 005	2015					
Client MR I Drawin Prop	۸. SKI g osed osed	LLIN Site Sec	T, EDE tions &	NFIEL	ati	17/07/	2015					
Reference of the second	И. SKI g osed оsed DL No:	LLIN Site Sec	T, EDE tions &		ati	17/07/	2015					



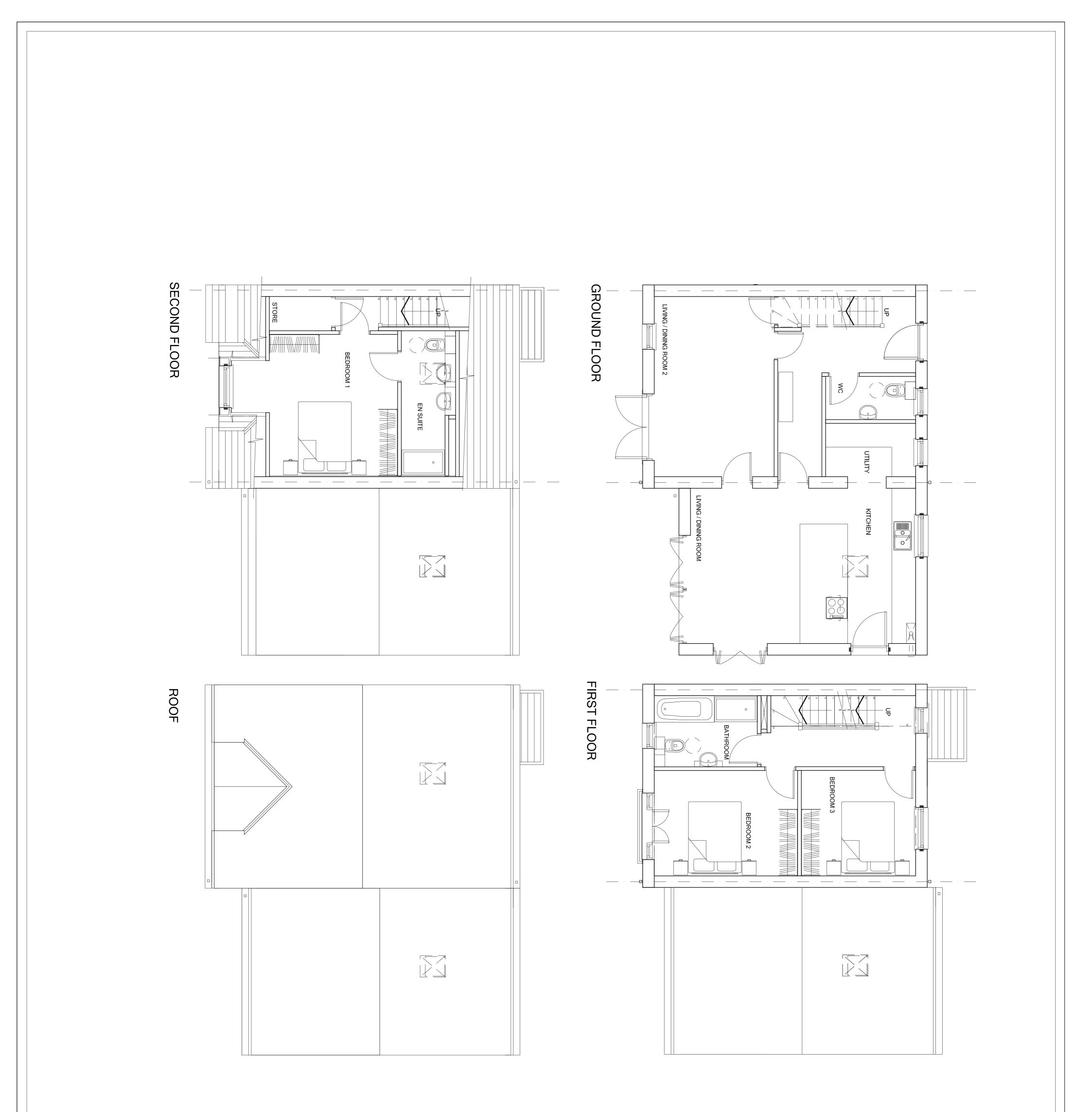




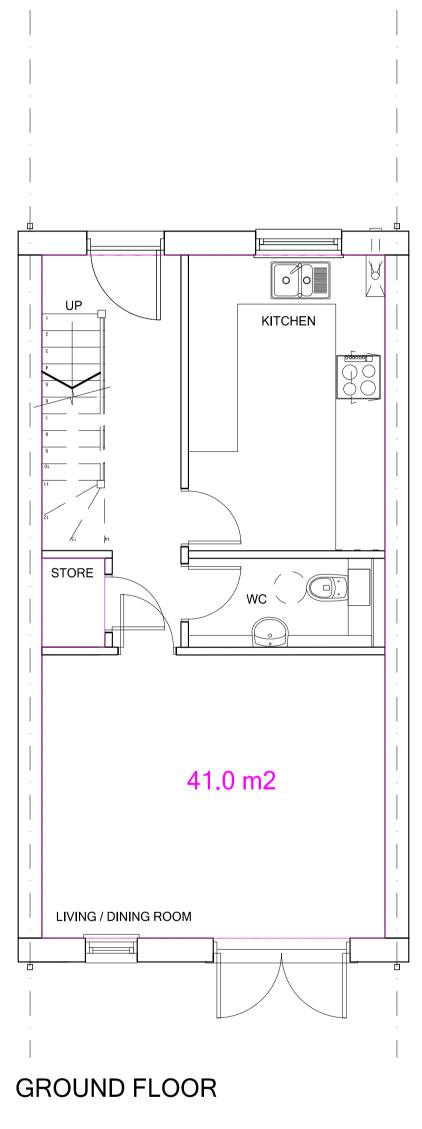


SECOND FLOOR

				E	· · · · ·		
Project No: 2340 Scale @ A1 1:50 Drawn: DL Checked: MW Drawing No: L(02)20	Drawing HOUSE TYPE 1 (3 BEDROOM,	Client MR M. SKILLIN					Do not scale from this drawing, only dimensi Any discrepancies must reported to Northmi Areas are design areas and use of these An- are to include allowances for variations inhe the construction processes. This drawing is Northmill Associates and must not be reproc permission.
Date: 20/07/2015 Status: PLANNIN G Revision: P1	OM, 3 STOREY)		// By Chk Date t e s Anchester M3.2NH				ions provided are to be used. III Associates immediately. All reas for commercial purposes irent in design development and the copyright and property of duced without prior written duced without prior written

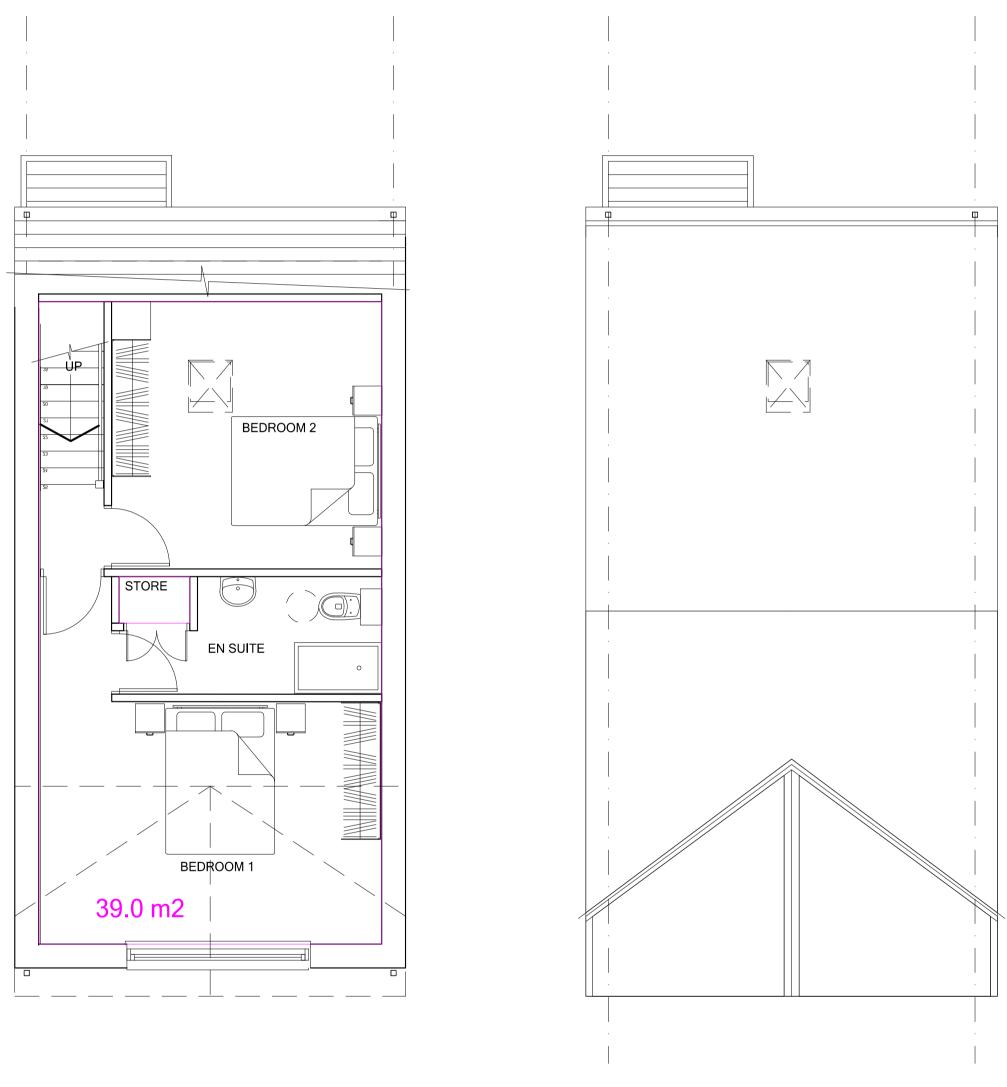


Drawing HOUSE TYPE 2 (3 BEDROOM, 1 & 3 STOREY) Project No: 2340 Scale @ A1 1:50 Date: 20/07/2015 Drawn: DL Checked: MW Status: PLANNIN G Drawing No: Revision: L(02)30 P1	Client MR M. SKILLIN	-     -     -     -     -/-/       Rev     Description     By     Chk     Date       NORRTHMUE     Juine     By     Chk     Date       NORRTHMUE     Juine     Juine     Date       NORRTHMUE     Juine     By     Chk     Date       NORRTHMUE     Juine     By     Chk     Date       North Parade     Fastsonage Gardent     Manchester     M3 2NH       Project     MARKET STREET     MARKET STREET	Por ord scale from this frawing, only dimensions provided are to be used. Areas are design areas and use of these Areas for commercial purposes are to include allowances for variations inherent in design development and the construction processes. This drawing is the copyright and property of Northmill Associates and must not be reproduced without prior written permission.





FIRST FLOOR



SECOND FLOOR

ROOF

