

**Welcome to
Rossendale Borough Council's
Development Control Committee
2nd September 2025**

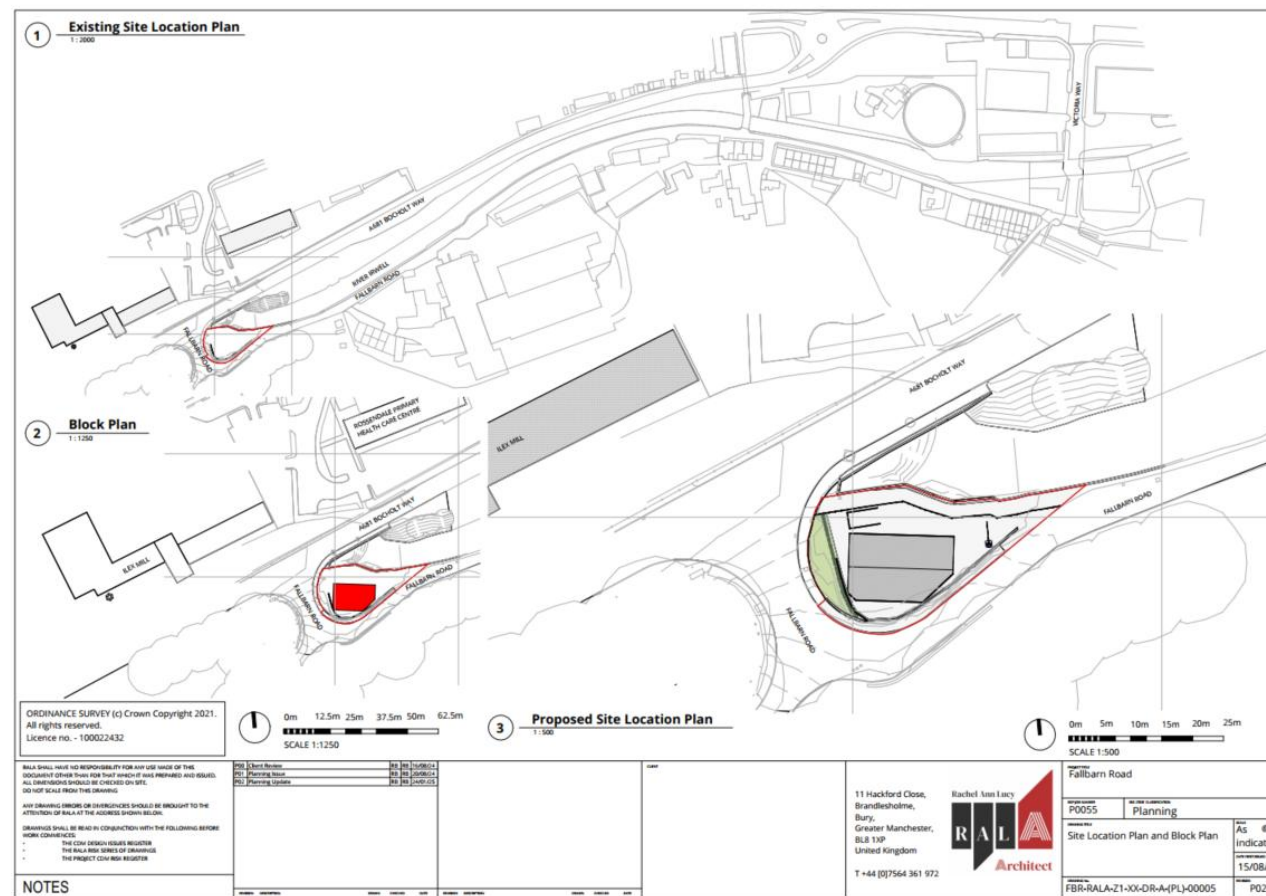


Item B1
**2025/0103 – Land at Fallbarn Road, Rawtenstall,
Rossendale, Lancashire**

Variation of conditions 2 (Approved Documents), 7 (Construction Management Plan), 10 (Cycleway), 11 (Surface water car park), 14 (Drainage) and 15 (Ecology) pursuant to planning permission
2024/0345

[illegible]

Site Location and Block Plan



Proposed North & South Elevations



Photograph



Photograph



Photograph

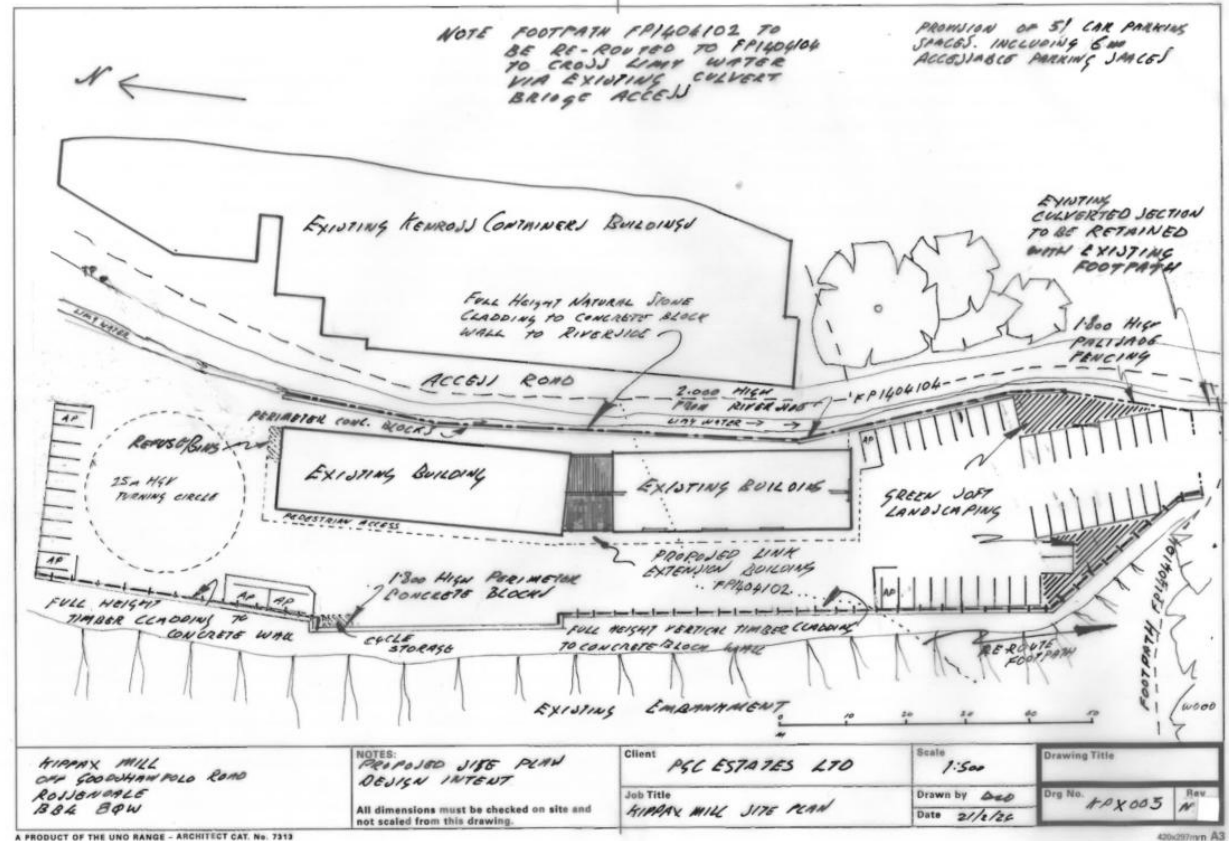


Item B2

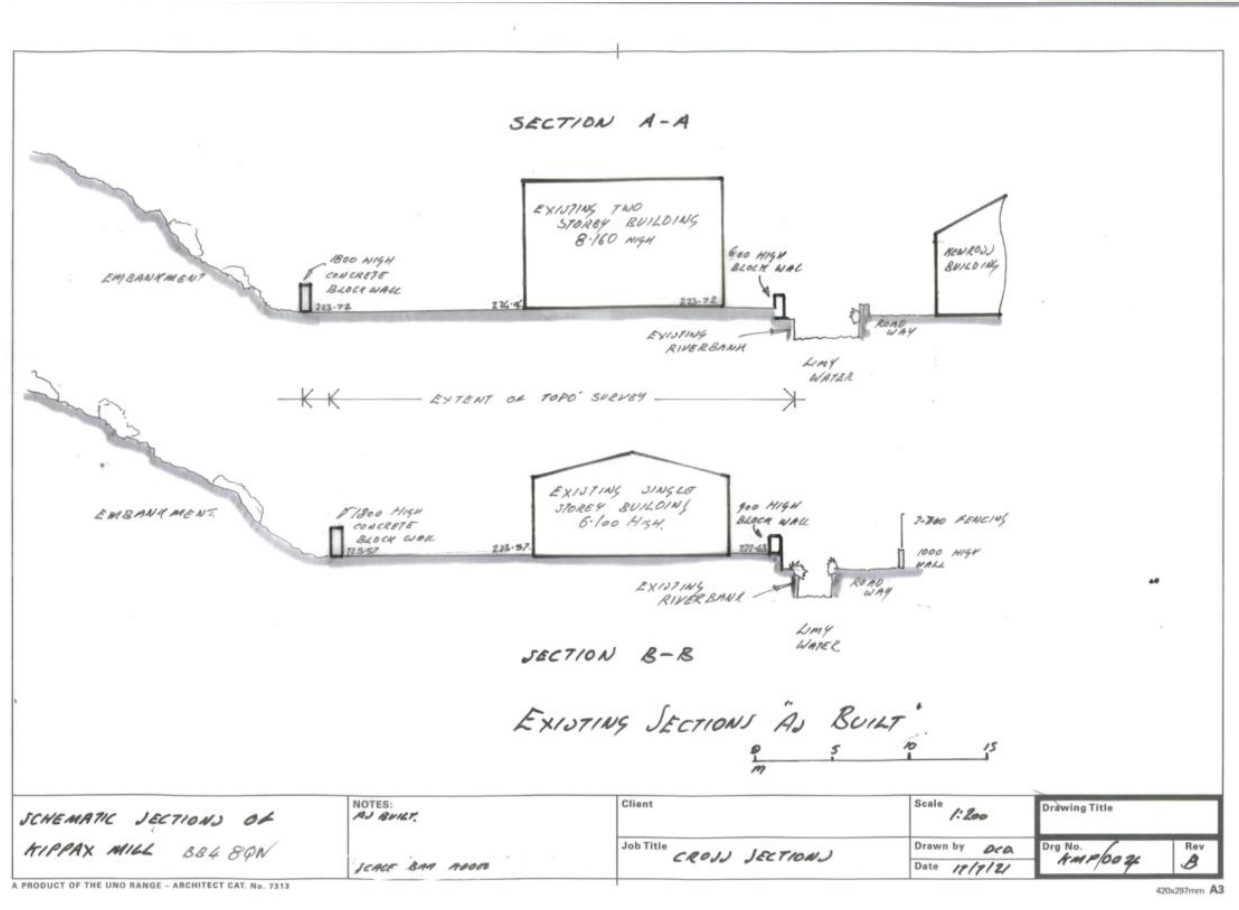
**2024/0302 – Land At Kippax Mill, Goodshawfold Road,
Rossendale, BB4 8QW**

Full: refurbishment works including engineering works to create hardstanding areas, erection of boundary walls, and construction of a new link extension to the existing buildings, with associated works (part retrospective).

Site Plan



Cross Sections



WEST ELEVATION

EAST ELEVATION

SOUTH ELEVATIONS

BUILDINGS AS EXISTING

ROOF PLANS

FLOOR PLANS

UNIT 1 UNIT 2 UNIT 3 UNIT 4 UNIT 5

UNIT 7-8 UNIT 9-10

YARD 6

NOTES:

WALLS: MIXED RED BRICK

WINDOWS: GALV STEEL

RED DOOR: STEEL-RED

TRIMS: POPPY RED

ROOF: PROFILE METAL

GOODMAN'S GRY

PLAN ROOM TO TWO STAIRS

BUILDING

BOLLARD, YELLOW NOT SHOWN.

DATE: 2/17/21

WEST ELEVATION

EAST ELEVATION

SOUTH ELEVATIONS

BUILDINGS AS PROPOSED

ROOF PLANS

FLOOR PLANS

UNIT 1 UNIT 2 UNIT 3 UNIT 4 UNIT 5

UNIT 7-8 UNIT 9-10

YARD 6

NOTES:

WALLS: MIXED RED BRICK

WINDOWS: GALV STEEL

RED DOOR: STEEL-RED

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GOODMAN'S GRY

PLAN ROOM TO TWO STAIRS

BUILDING

BOLLARD, YELLOW NOT SHOWN.

DATE: 2/17/21

[illegible]

Photograph



Photograph



Item B3

**2025/0167 – 1 The Crescent, Park Avenue,
Haslingden, Rossendale, Lancashire, BB4 6PR**

Householder: Two-storey side extension for a dining/kitchen at ground floor and two bedrooms and a shower room at first floor level.

Location Plan



1, The Crescent, Park Avenue, Haslingden, Rossendale, Lancashire, BB4 6PR

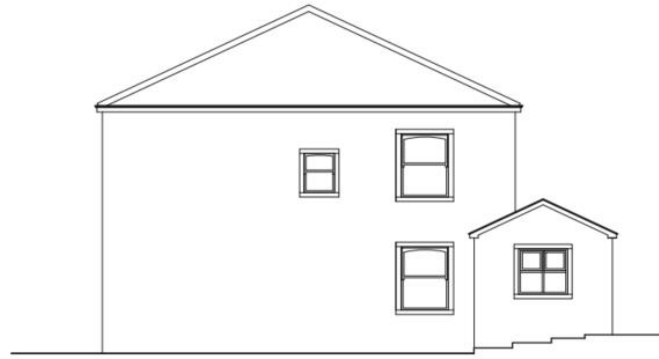


Location Plan shows area bounded by: 378608.22, 422517.29 378609.64, 423462.68 (at a scale of 1:1250). OSGridRef: 5078670233. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.
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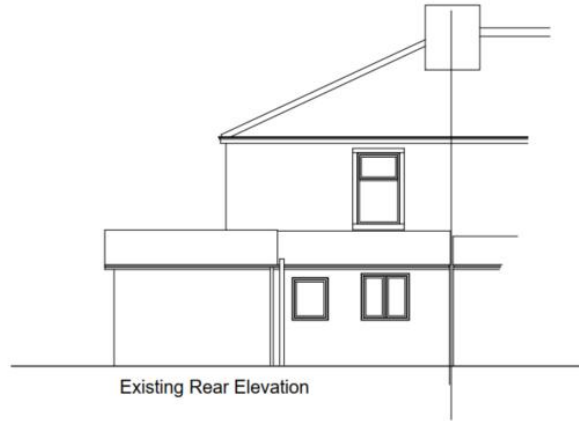
Existing Elevations



Existing Front Elevation



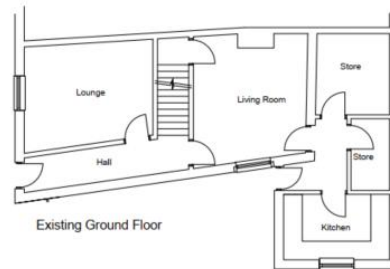
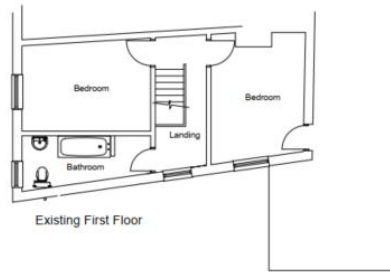
Existing Side Elevation



Existing Rear Elevation

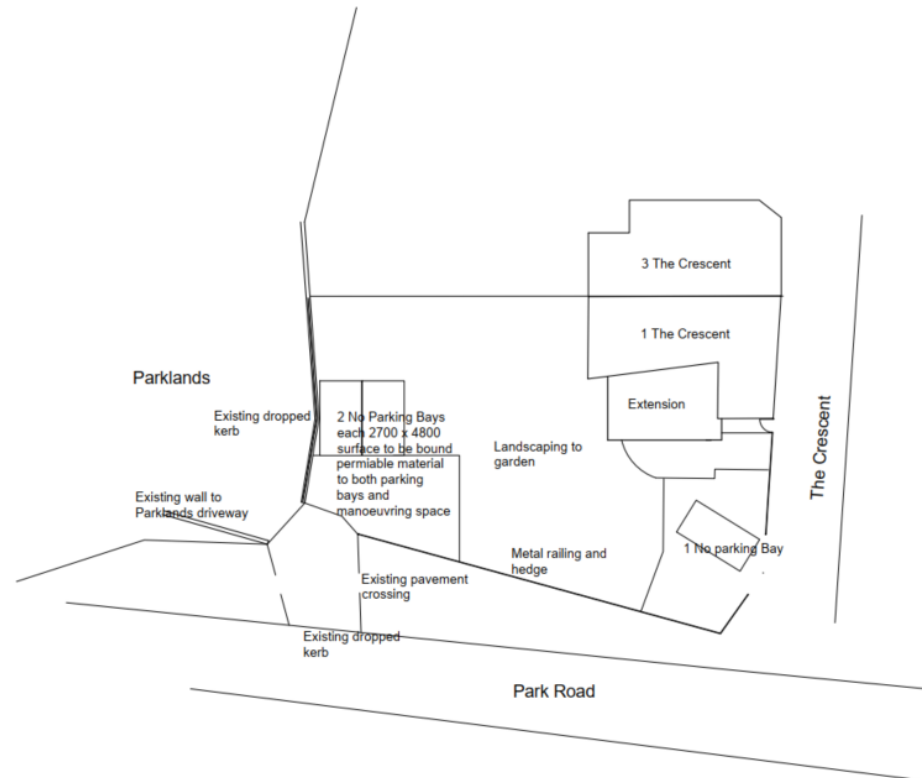
Drawing
Existing Elevations
Address
1 The Crescent,
Huddersfield
Client
Drawn
17/04/2
Scale
1:50
D7 Hancock Design
22 Oulton Street
Barnley
CL13 9GB
Tel 01709 563502
Mob 07599 008 791

Existing Plans



01 Marjorie Bernier
22 4th Street
Reno
NV 89501
702 785 8888
Web 01222 000 70

Proposed Site Plan



Title
Location Plan
Job
1 The Crescent
Haslingden

Client

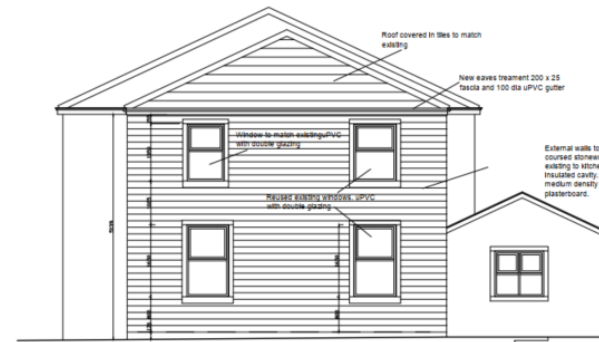
Draw No 17014.6 Scale 1:200

DJ Hancock Design
22 Craft Street
Bacup
Tel 01751 841002
Email 01751 841 002

Proposed Elevations



Proposed Front Elevation



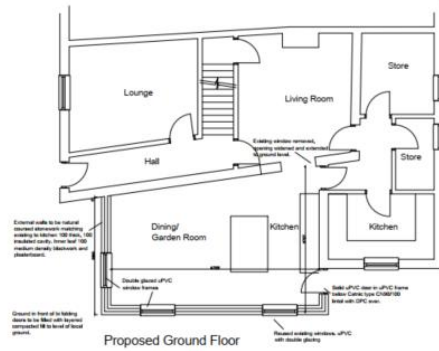
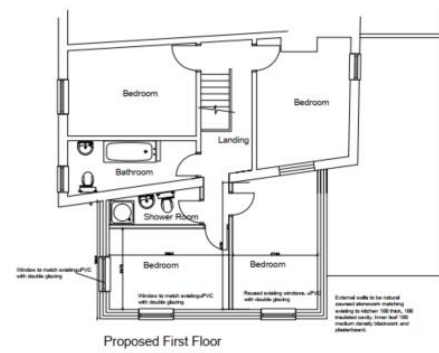
Proposed Side Elevation



Proposed Rear Elevation

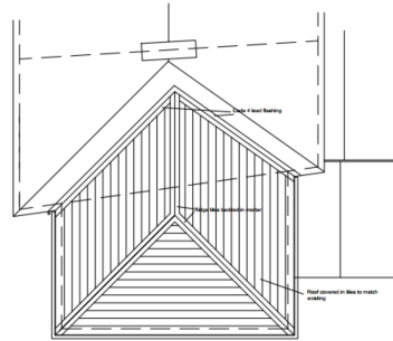
Project:
 Proposed Elevations
 Address:
 1 The Crescent
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 Date:
 17/04/23
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 10/2 Henshaw Design
 22 Croft Street
 Bury
 OL13 9JH
 Tel 01706 563502
 Mob 07599 008 791

Proposed Plans

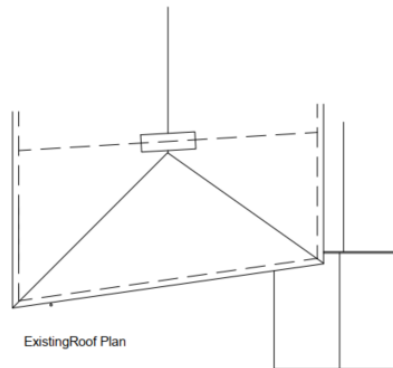


DT Hancock Design
22 Court Street
Boston, MA 02108
Tel: 617/452-2100
Fax: 617/452-2101

Proposed & Existing Roof Plans



Proposed Roof Plan



Existing Roof Plan

Project:
1700 Broadway, Washington
Date:
1/1/2020
Drawn by:
1/1/2020
Checked by:
1/1/2020
Scale:
1/1/2020

Photograph



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Item B4

**2025/0161 – 5 Lambton Gates, Rawtenstall, Rossendale,
Lancashire, BB4 7PQ**

**Householder: Creation of one first floor bedroom with en-suite and
conversion of garage into dining room. Conversion of ground floor
bedroom into games room.**

Location Plan

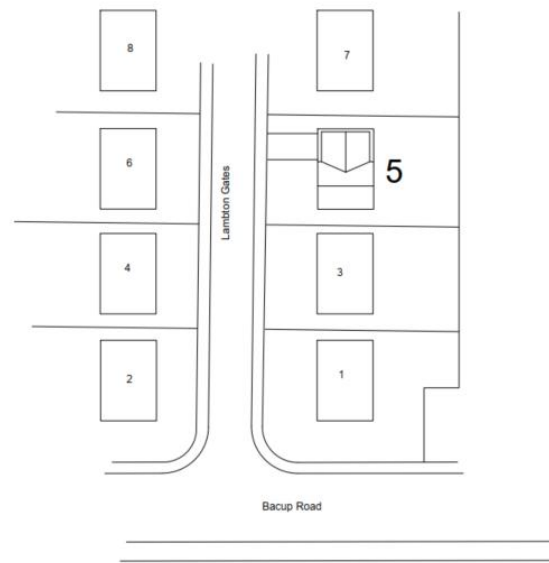


5, Lambton Gates, Rawfenstall, Rossendale, Lancashire, BB4 7PQ



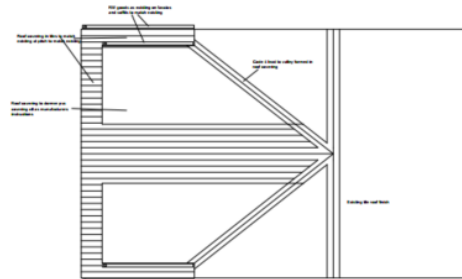
Location Plan shows area bounded by: 381514.75, 422835.52 380865.17, 422791.34 (at a scale of 1:1250), OSGridRef: 508180271. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.
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Proposed Site Plan



Proposed
Location Plan
Scale
1:1000
1/2" = 1' 0"
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Proposed & Existing Roof Plans



Proposed Roof Plan



Existing Roof Plan

Proposed And Existing Plans

3. London Colne Water Treatment

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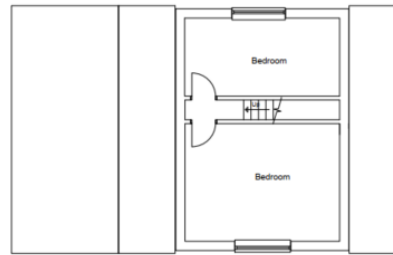
298. Other

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300. Other

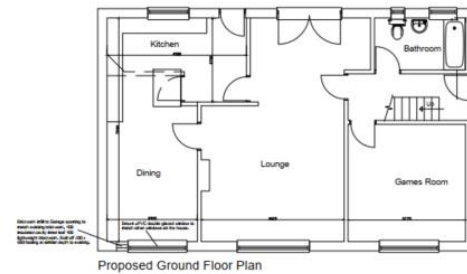
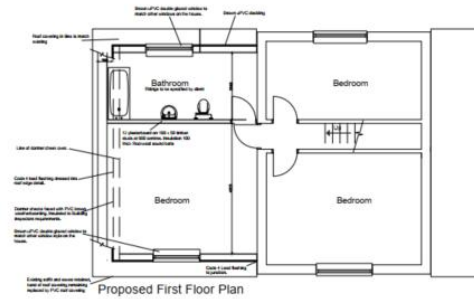
301. Other</

Existing Floor Plans



Source:
Existing Plans
Date:
Scale:
1/2" = 1'-0"
1/4" = 1'-0"
1/8" = 1'-0"
1/16" = 1'-0"
1/32" = 1'-0"
1/64" = 1'-0"

Proposed Floor Plans

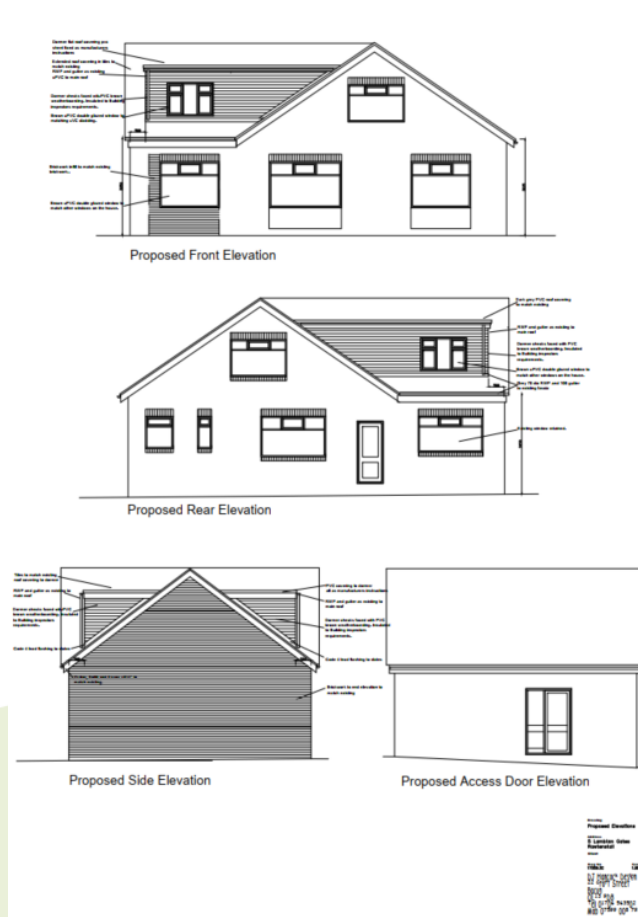


Proposed Floor Plans
Architect: [Name]
Scale: 1/8" = 1'-0"
Date: [Date]

Existing Elevations



Proposed Elevations



Photograph



Photograph



Photograph



Photograph

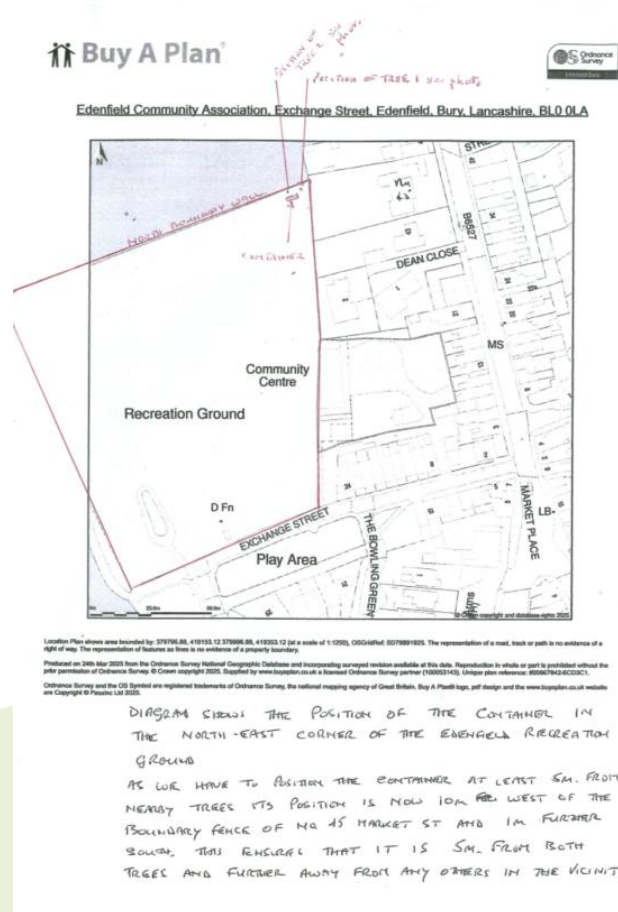


Item B5

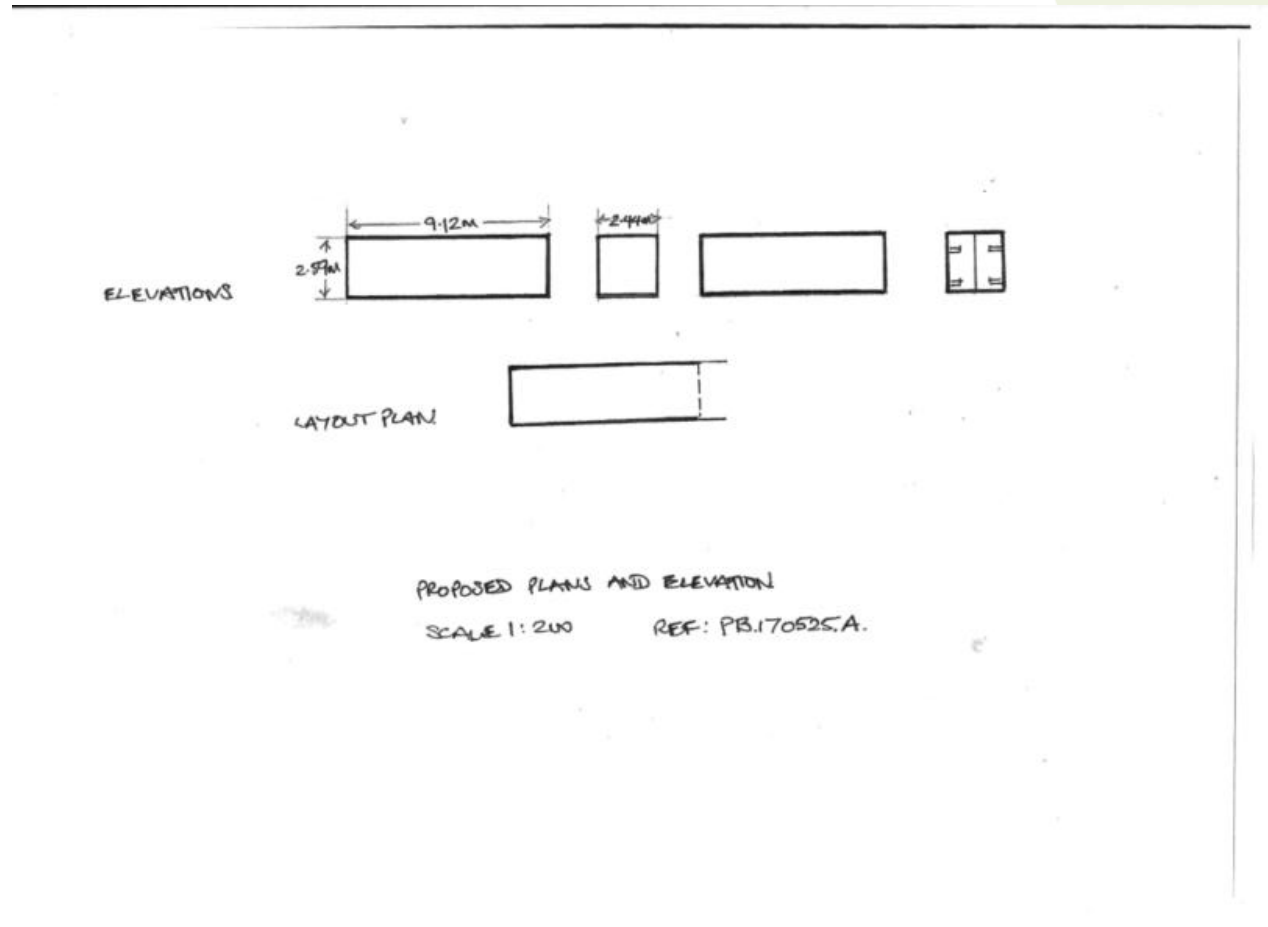
2025/0126 – Playground And Recreation Area, Exchange Street, Edenfield, Bury, Lancashire

Full Application: Siting of a 30 foot shipping container to provide storage for equipment used in community events.

Site Location Plan



Proposed Plans & Elevations



Photograph



Photograph



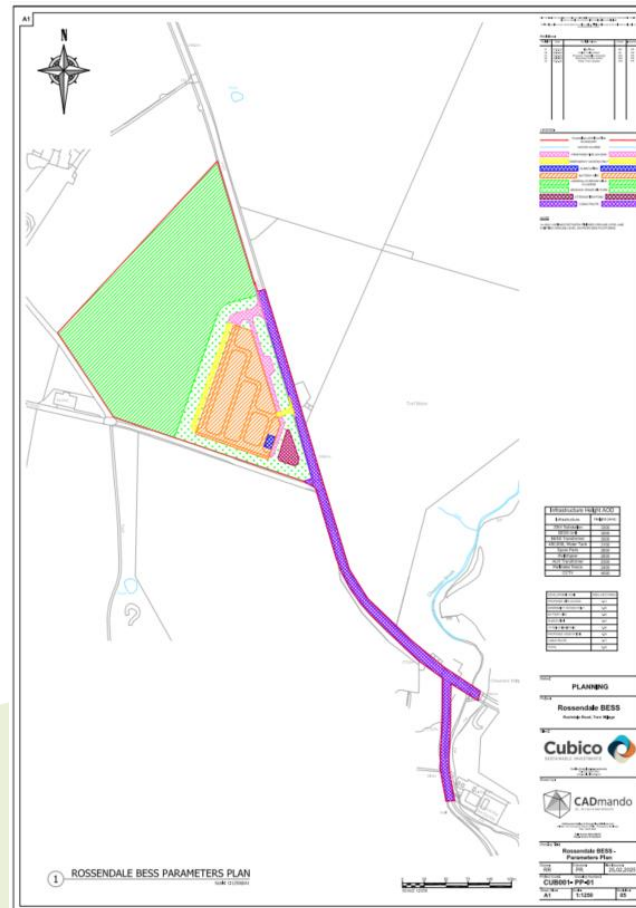
Photograph



Item B6
2024/0501 – Land At Rochdale Road And Bamford Road
Turn Village

Full: Construction, management and operation of a Battery Energy Storage System (BESS) with associated infrastructure, including access, drainage, security measures and landscaping and provision of a connecting cable along Croston Close Road.

Parameters Plan



Photograph



Photograph



Photograph



Photograph



Photograph



Photograph



Item B7

**2025/0183 – Land To North Of, Doals Farm, Burnley Road,
Bacup, Lancashire, OL13 8QR**

Permission in Principle (Stage 1): Proposed between 3 and 9 No.
houses

Location Plan



Photograph



Photograph



Photograph



Item B8

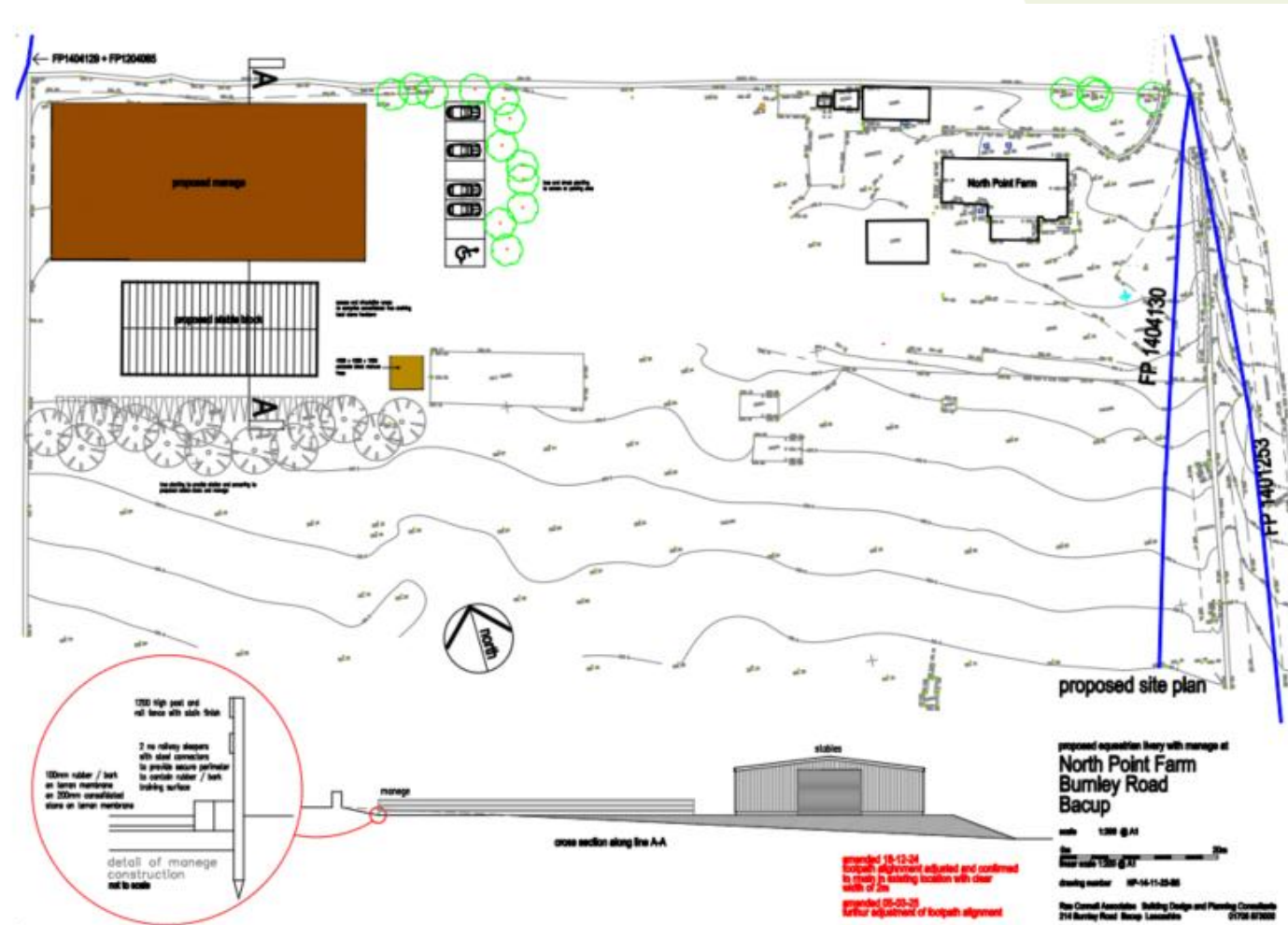
**2024/0087 – North Point, Burnley Road, Bacup, Lancashire,
OL13 8RE**

Full: A livery stable building, manure enclosure, menage and alterations to land levels.

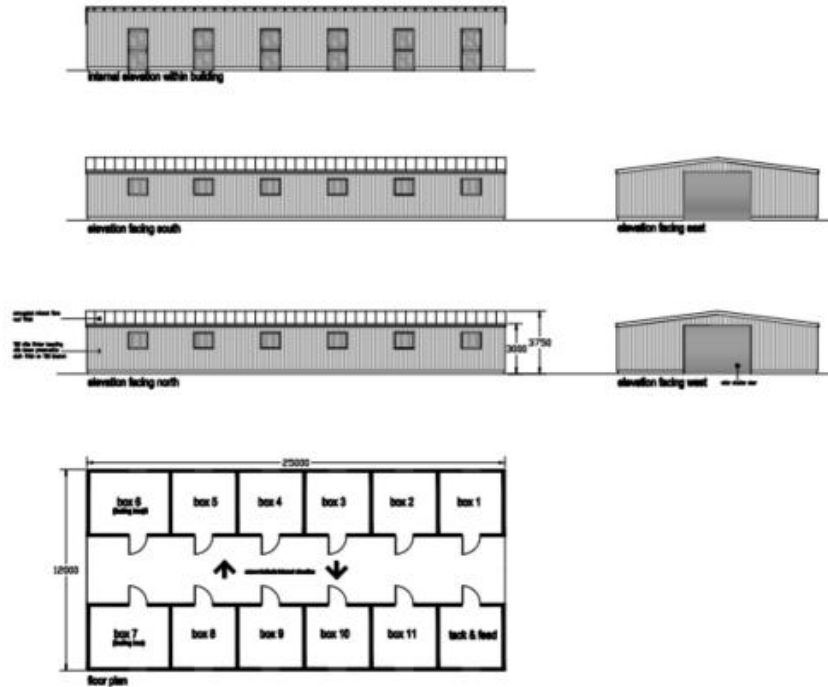
Location Plan



Proposed Site Plan



Detail of Livery Building



detail of livery building

proposed commercial kennels and
equine livery with manager's office
North Point Farm
Burnley Road
Bacup

scale 1:100 @ A1

date 11/11/2011
drawn by 11/11/2011 @ A1

drawing number NP-14-11-25-0

Neil Carroll Associates Building Design and Planning Consultants
214 Burnley Road, Burnley, Lancashire BB10 8JH

Photographs



Photographs



Photographs



Photographs



Photographs



Photographs

