

Application Number:	2025/0333	Application Type:	Householder
Proposal:	Two storey side extension.	Location:	14 Carr Lane Rawtenstall.
Report of:	Head of Planning and Building Control	Status:	For publication
Report to:	Development Control Committee	Date:	07/10/2025
Applicant:	Ms Julia Alderson	Determination Expiry Date:	08/10/2025
Agent:	Mr D Hancock		

Contact Officer:	Harry Turner
Email:	harryturner@rossendalebc.gov.uk

REASON FOR REPORTING	
Outside Officer Scheme of Delegation	No
Member Call-In Name of Member: Reason for Call-In:	No
3 or more objections received	No
Other (please state):	Yes. Agent is a Local Councillor.

HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights:

Article 8

The right to respect for private and family life, home and correspondence.

Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

1. RECOMMENDATION

Grant planning permission subject to conditions.

2. SITE

14 Carr Lane is a semi-detached house constructed predominantly of white rendered brickwork, for the external walls, under a pitched 'hipped' red/brown clay tile roof. It is located

due northeast of the junction of Carr Lane and Hawks Grove in an area of residential development that lies within the Urban Boundary.

3. RELEVANT PLANNING HISTORY

The property has not been the subject of any recent planning history. However, a single storey porch and a freestanding garage have been added/erected to the front and side of the property at some stage in the past.

4. PROPOSAL

Planning permission is sought to add a two-storey garage/bedroom/en-suite bathroom extension to the side (north western facing) elevation of the property following the demolition of the existing garage.

NB:- It is also proposed to re-render the external walls of the property using a K-Rend render finish. However, these works do not require formal planning permission and do not therefore form part of this application.

5. POLICY CONTEXT

National

National Planning Policy Framework

Section 2 Achieving Sustainable Development

Section 12 Achieving Well Designed Places

Section 15 Conserving and Enhancing the Natural Environment

Development Plan Policies

Rossendale Local Plan 2019 to 2036

Policy SD1 Presumption in Favour of Sustainable Development

Policy SD2 Urban Boundary and Green Belt

Policy HS9 House Extensions

Policy ENV1 High Quality Development in the Borough

Other Material Planning Considerations

RBC Alterations and Extensions to Residential Properties SPD

6. CONSULTATION RESPONSES

Consultee	Summary of Comments received
LCC Highways	Comments received – Original concerns addressed

7. **REPRESENTATIONS**

The application was advertised in this instance by sending individual letters to the surrounding properties. These were sent on 15th August 2025 giving them 21 days to comment. The publicity period has now expired (expires on 05/09/25) and one letter of objection has subsequently been received. The objections are:

- a) that the development will adversely affect the level of light and privacy currently received/enjoyed by the neighbouring property, and will impact the condition of the property through the increased chance of damp occurring,
- b) that if the application is approved the value of their property will be de-valued, and
- c) that the prospect of this development going ahead is causing them considerable upset and is adversely affecting their health, and the development will also affect their health by increased damp as a result of the loss of light.

8. **ASSESSMENT**

Principle

The proposal involves the extension of an established property that is sustainably located within the identified Urban Boundary. It is therefore considered to be acceptable in principle.

Visual Amenity

The extension will appear quite prominently in the street scene. However, it is considered that it will be acceptable in regards to its scale and design. It will appear subservient to the main property as it will be set back approximately two metres from the main front wall and will have a slightly lower ridge line. It will also incorporate a 'hipped' pitched roof that will reasonably harmonise with the existing roof and will be constructed of materials that will match those of the re-rendered main house namely K-Rend render and red clay tiles.

The proposal will not lead to 'terracing'. This is because of the degree to which the extension will be 'set back' from the main front wall of the house and also because it will stand 0.9 metres off the side boundary with 12 Carr Lane.

Creating a third car parking space in front of the dwelling (see 'Highway Safety' section below) is not considered visually ideal. However, given that this will not lead to loss of the whole front garden with some greenery retained it is considered that it would be difficult to sustain a refusal of the scheme on these grounds alone.

In view of the above the proposal is, on balance, considered to be acceptable in visual amenity terms reasonably satisfying the requirements of Policies HS9 and ENV1 of the

Local Plan, Sections 12 and 15 of the National Planning Policy Framework, and the relevant provisions of the Council's Alterations & Extensions to Residential Properties SPD (2008) in this regard.

Neighbour Amenity

a) Light

There is a window in the facing gable of 12 Carr Lane next door and it is understood that this is the sole window serving a bedroom. The level of light that this currently receives is likely to be affected by the proposed extension to some degree. However, it is considered that it will not be affected to the extent that a refusal of this proposal could reasonably be justified on such grounds despite the concerns raised to the contrary. In coming to this view consideration has been given to the following:

- a) the window has been installed at first floor level,
- b) the extension will stand approximately 4.9 metres from this window and will incorporate a 'hipped' roof that will slope away from it,
- c) it will also stand to one side of the opening.

The extension will not otherwise have any significant effect on the level of light received either by that property (including its garden) or any others in the immediate vicinity:

- i) it will not intersect an imaginary '45 degree' line were this to be drawn from any rear facing 'habitable room' window in either 12 or 16 Carr Lane on either side,
- ii) it will be largely screened from 16 Carr Lane by the host dwelling,
- iii) it will stand a minimum of 17 metres away from the next nearest potentially affected property (13 Carr Lane to the immediate southwest).

b) Overlooking

The extension will not unacceptably overlook any of the neighbouring properties despite the concerns to the contrary. It will incorporate two windows at first floor level. However, one of these will serve a non-habitable bathroom which will directly face the rear garden boundary of the property at a distance of approximately 11.7 metres. The other will serve a bedroom which will directly face Carr Lane itself. No windows are proposed in the gable of the extension directly facing 12 Carr Lane and a condition can reasonably be imposed on any approval preventing any from being installed at a later date without planning approval.

c) Overdevelopment

The proposal will not lead to more than 50% of the defined application site being built upon. Consequently, it will not represent overdevelopment.

In view of the above it is considered, on balance, that the proposal will satisfy the requirements of Policies HS9 and ENV1 of the adopted Local Plan, and the provisions of the Council's Alterations and Extensions to Residential Properties SPD (2008), in 'Neighbour Amenity' terms.

Highway Safety

The proposal will increase the number of bedrooms within the property from three to four. Consequently, it will be necessary to provide three 'off-street' car parking spaces in conjunction with the enlarged dwelling. Originally only sufficient space was being made available to satisfactorily park two cars within the property curtilage (one in the new garage and one on the driveway in front). However, the agent has since added a third space in front of the lounge within the front garden. On this basis the proposal is now considered to be acceptable in parking terms.

The proposed parking arrangements will not allow for the satisfactory turning of vehicles within the property curtilage and they will therefore need to be either reversed onto or off Carr Lane. However, these manoeuvres are unlikely to give rise to any undue highway safety issues in this case as the property is located on a residential estate road which is unlikely to be experiencing substantial vehicular use and where vehicles are unlikely to be travelling very quickly. For Members' information no 'on-site' turning facilities are currently available to the property so the situation will remain unchanged in this respect.

A satisfactory vehicular access is currently available to the property from Carr Lane and this will remain unchanged.

In view of the above, subject to a condition requiring that all three parking spaces are provided before the enlarged dwelling is first brought into use, it is considered that the proposal will be acceptable in highway safety terms reasonably satisfying the requirements of the Framework, Policy HS9 of the adopted Local Plan, and the provisions of the Council's Alterations & Extensions to Residential Properties SPD (2008), in this regard.

Tree Issues

The creation of the third parking space will require the removal of a tree. However, the tree in question is not especially large and is not considered to be of any particular merit. Consequently, whilst losing it would be regrettable it is considered that a refusal of this proposal on these grounds would be difficult to sustain in this instance.

Other Issues

The concerns raised by the objector to the application, as set out in the 'Representations' section above, have been assessed. Those concerning the likely effect that the extension may have upon the level of light and privacy currently received/enjoyed by the neighbouring

property have already been addressed earlier in the report. Regrettably the other concerns, namely the effect that the development may have upon property values and upon the health and well-being of an individual, cannot be taken into consideration when determining a planning application as they are not material planning considerations.

Conclusion

The proposal is considered to be acceptable involving the addition of an appropriately designed and positioned extension to an established and sustainably located house. It is also considered acceptable in neighbour amenity and, subject to the imposition of suitable conditions, in highway safety terms. The proposal is therefore considered to be in accordance with the requirements of Policies SD1, SD2, HS9 and ENV1 of the Council's adopted Rossendale Local Plan 2019 to 2036, Sections 2, 12 and 15 of the National Planning Policy Framework and the provisions of the Council's Alterations and Extensions to Residential Properties SPD (2008).

9. RECOMMENDATION

Grant planning permission subject to the following conditions.

10. CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To accord with the requirements of Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following drawings, unless otherwise required by the conditions below:

<u>Drawing Title</u>	<u>Drwg No</u>	<u>Date Rec'd</u>
Location Plan	#00994884-98A01F	13/08/2025
Existing Floor Plans	17024.2	13/08/2025
Existing Elevations	17024.1	13/08/2025
Proposed Floor Plans	17024.4A	22/08/2025
Proposed Elevations	17024.3	13/08/2025
Existing and Proposed Roof Plan	17024.5	13/08/2025

Reason: For the avoidance of doubt and to ensure a satisfactory standard of

development, in accordance with the requirements of Policies SD1, SD2, HS9, and ENV1 of the Council's adopted Rossendale Local Plan 2019 to 2036, Sections 12 and 15 of the National Planning Policy Framework and the provisions of the Council's Alterations and Extensions to Residential Properties SPD (2008).

3. The materials to be used in the construction of the external walls and roof of the approved extension shall match in type, colour, texture, and shall be laid in a manner to match, those used in the construction of the external walls and roof of the host dwelling.

Reason: In the interests of visual amenity, in accordance with the requirements of Policies HS9 and ENV1 of the Council's adopted Rossendale Local Plan 2019 to 2036, Sections 12 and 15 of the National Planning Policy Framework, and the relevant provisions of the Council's Alterations and Extensions to Residential Properties SPD (2008).

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any subsequent legislation revoking or superseding that Order, no windows, doors or other openings shall, at any time, be formed within the side (northwestern) facing elevation of the approved extension.

Reason: To safeguard the privacy of the occupiers of 12 Carr Lane in accordance with the requirements of Policies HS9 and ENV1 of the adopted Rossendale Local Plan 2019 to 2036, and the provisions of the Council's Alterations and Extensions to Residential Properties SPD (2008).

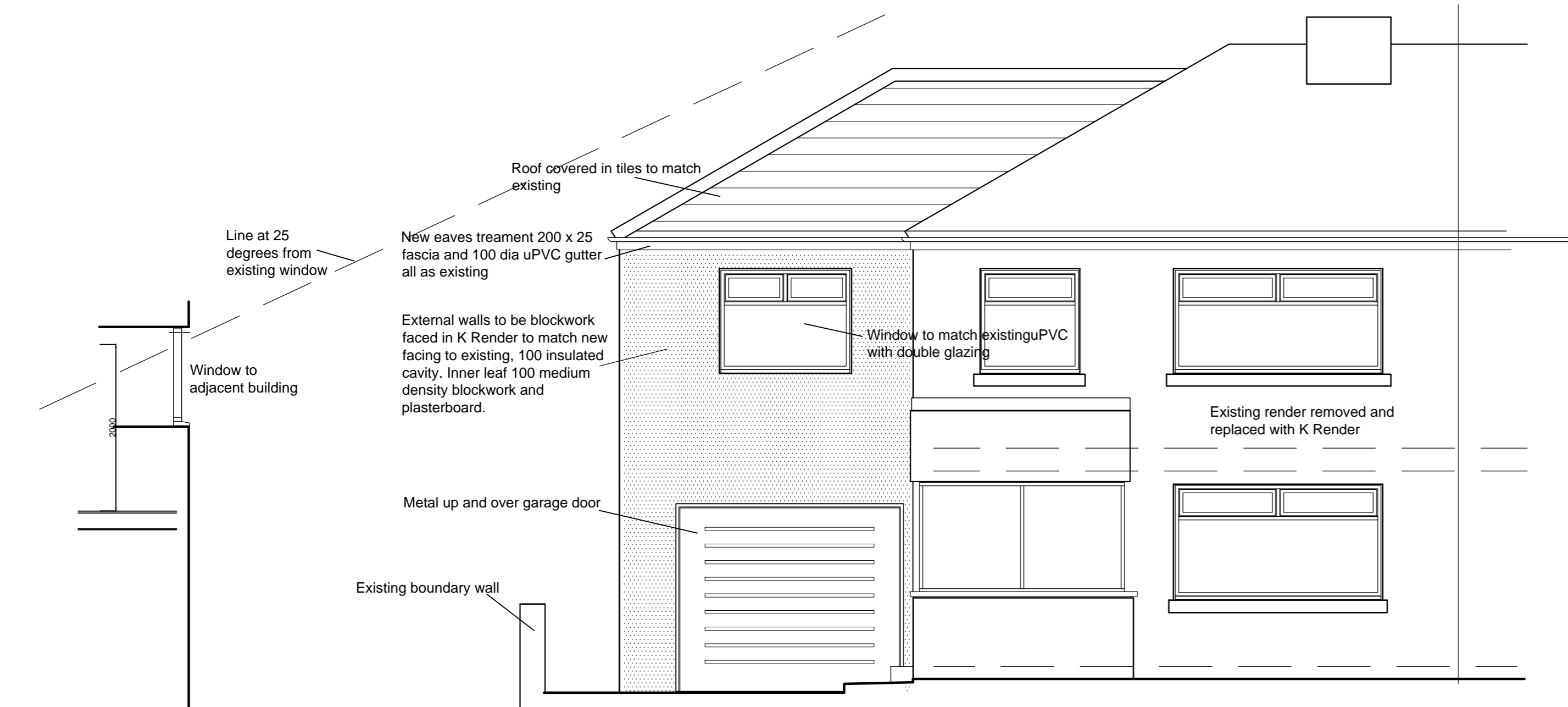
5. The three new parking spaces (including the garage space) shall be completed and made available for the parking of vehicles before the enlarged dwelling is first occupied. These works shall include measures to ensure that surface water does not drain onto the adjoining highway. The parking spaces shall thereafter be retained at all times solely for the parking of vehicles in conjunction with the enlarged dwelling.

Reason: In the interests of highway safety in accordance with the requirements of Policy HS9 of the adopted Local Plan, and the provisions of the Council's Alterations & Extensions to Residential Properties SPD (2008), in this regard.

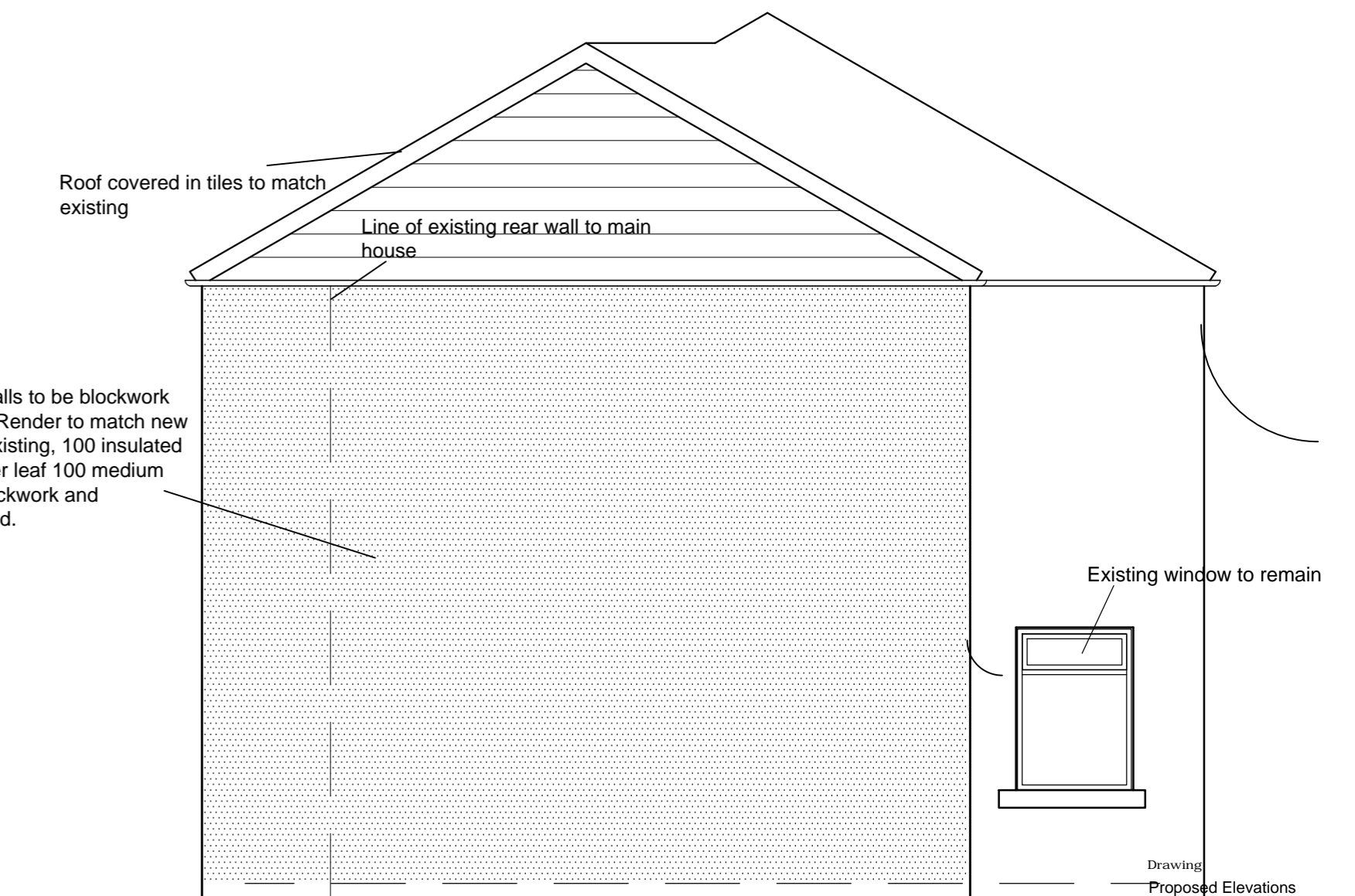
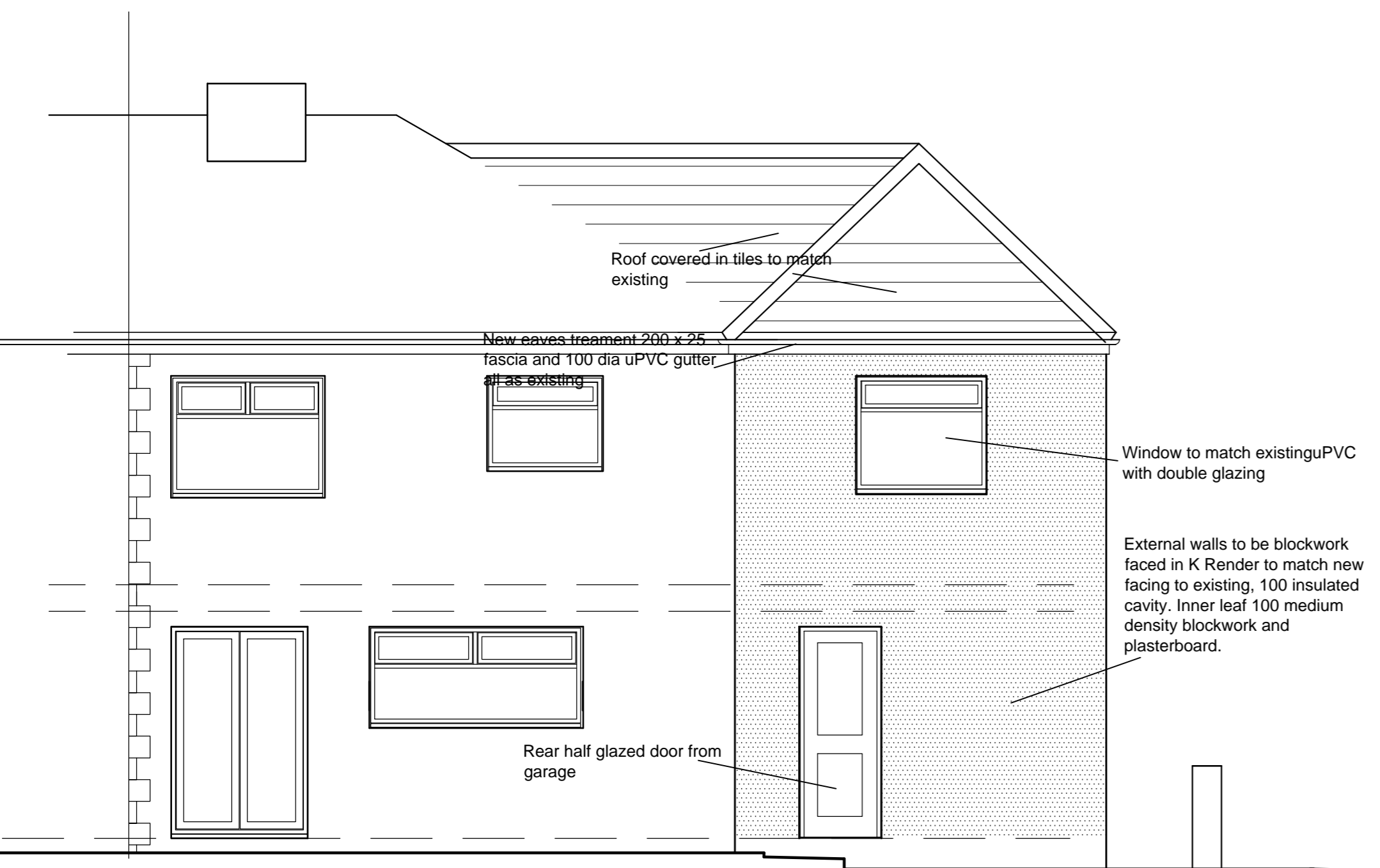
INFORMATIVES

1. The proposals comply with the development plan and would improve the economic, social and environmental conditions of the area. They therefore comprise sustainable development and the Local Planning Authority has worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement as set out in Paragraph 38 of the National Planning Policy Framework.

2. The proposed development lies within a coal mining area which may contain unrecorded mining related hazards. If any coal mining feature is encountered during development, this should be reported to The Coal Authority. Any intrusive activities which disturb or enter any coal seams, coalmine workings or coal mine entries (shafts and adits) require the prior written permission of The Coal Authority. Property specific summary information on coal mining can be obtained from The Coal Authority's Property Search Service on 0845 762 6848 or at www.groundstability.com
3. This consent requires the alteration of an access to the public highway. Under the Highways Act 1980 Section 184 the County Council as Highway Authority must specify the works to be carried out. Only the Highway Authority can carry out these works and therefore before any access works can start you must contact Lancashire County Council quoting the planning application number. Online applications can be made through the following link <http://www.lancashire.gov.uk/roads-parking-and-travel/roads/vehicle-crossings.aspx>



Proposed Front Elevation



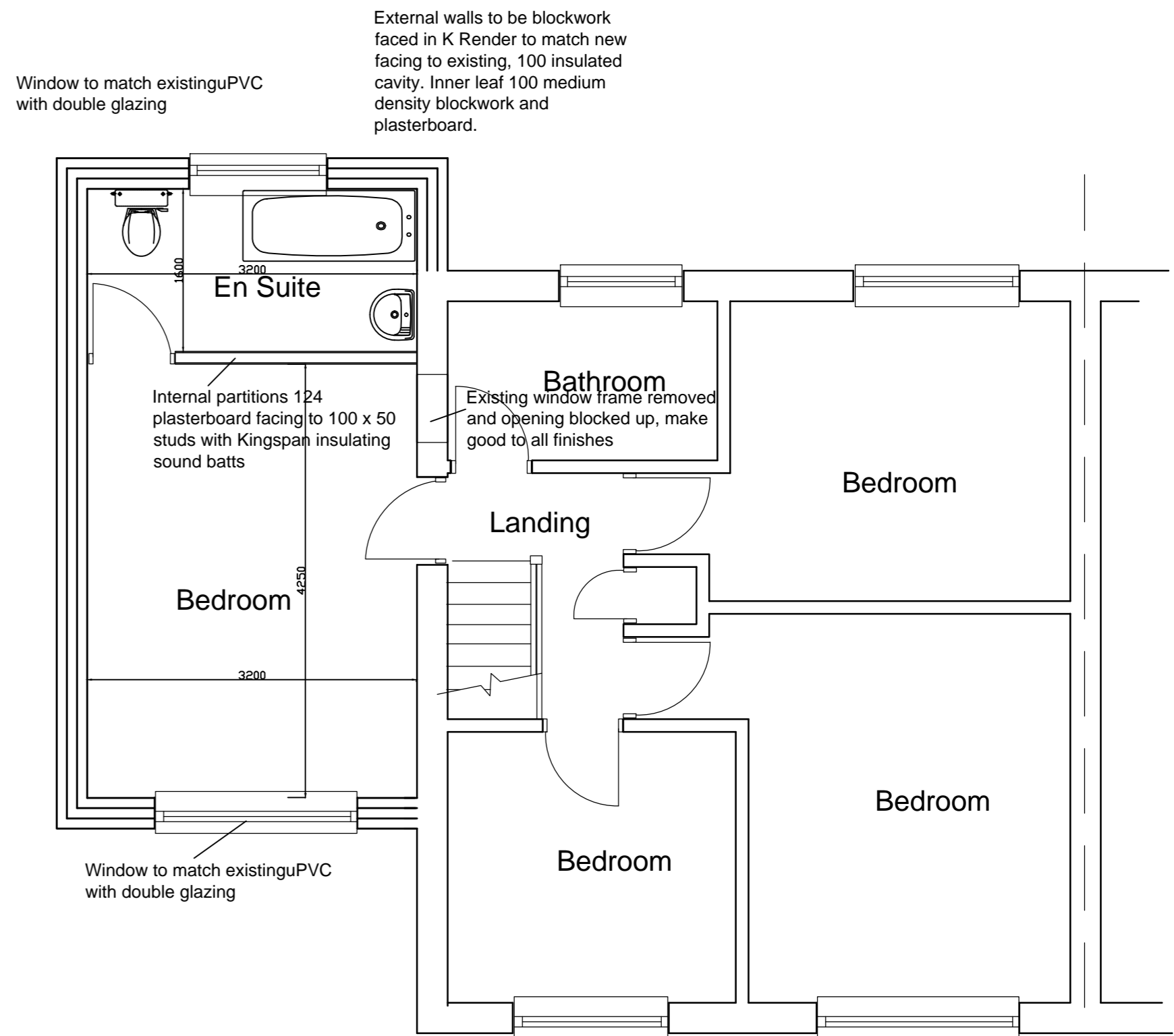
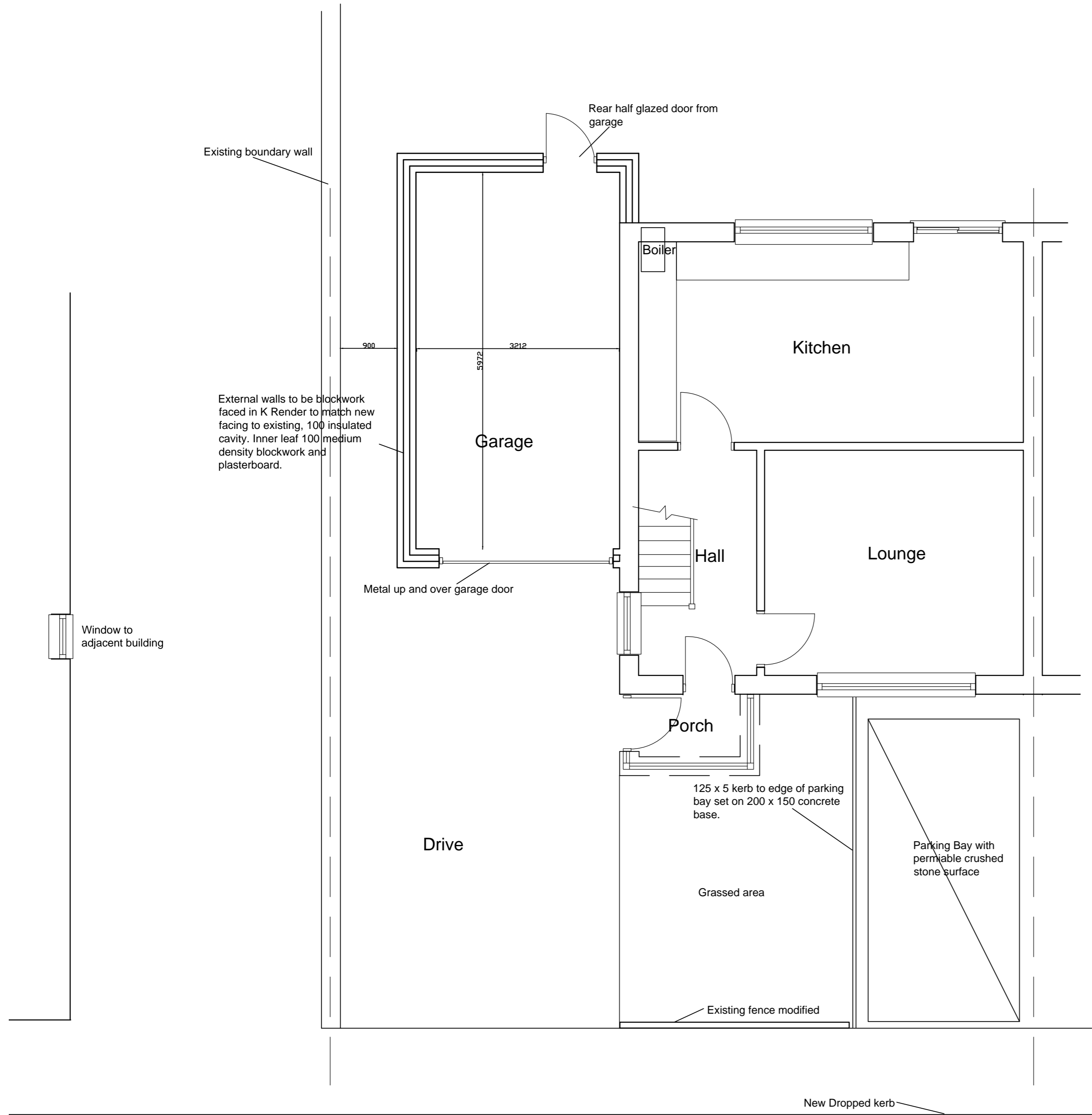
Proposed Side Elevation

Drawing
Proposed Elevations

Address
14 Carr Lane
Rawtenstall
Client

Dwg No
17024.3
Scale
1:50

DJ Hancock Design
22 Croft Street
Bacup
OL13 9DB
Tel 01706 563502
Mob 07599 008 791



Proposed First Floor Plan

A - Extra parking bay added plus dropped kerb.

Drawing
Proposed Plans

Address
14 Carr Lane
Rawtenstall
Client

Dwg No
17024.4A
Scale
1:50

DJ Hancock Design
22 Croft Street
Bacup
OL13 9DB
Tel 01706 563502
Mob 07599 008 791

14, Carr Lane, Rawtenstall, Rossendale, Lancashire, BB4 6BE



Location Plan shows area bounded by: 381011.03, 422156.27 381152.45, 422297.69 (at a scale of 1:1250), OSGridRef: SD81082222. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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