

**Welcome to  
Rossendale Borough Council's  
Development Control Committee  
7<sup>th</sup> October 2025**

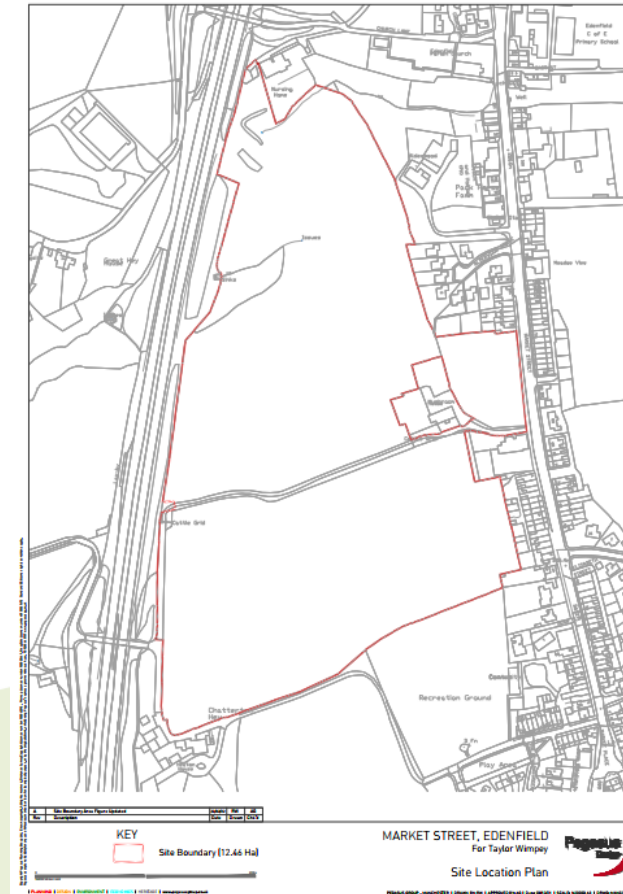


## **Item B1**

### **2022/0451 – Land off Market Street, Edenfield.**

**Full application for the erection of 238 no. residential dwellings (Use Class C3) and all associated works, including new access, landscaping and public open space**

# Site Location Plan



# Public Open Space Plan



# Detailed Layout



# Materials Plan





# Some Examples of House Types





# Photograph





# Photograph



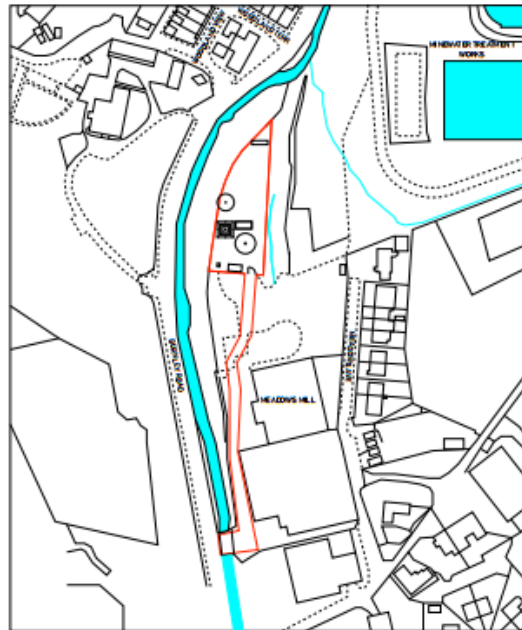
# Photograph



**Item B2**  
**2025/0217 – Land at Meadows Mill, Burnley Road,  
Bacup.**

**Change of use from industrial site to outdoor education and leisure use, retention of four associated ancillary structures, and siting of new shipping container for use as an ancillary office (part retrospective).**

# Location Plan



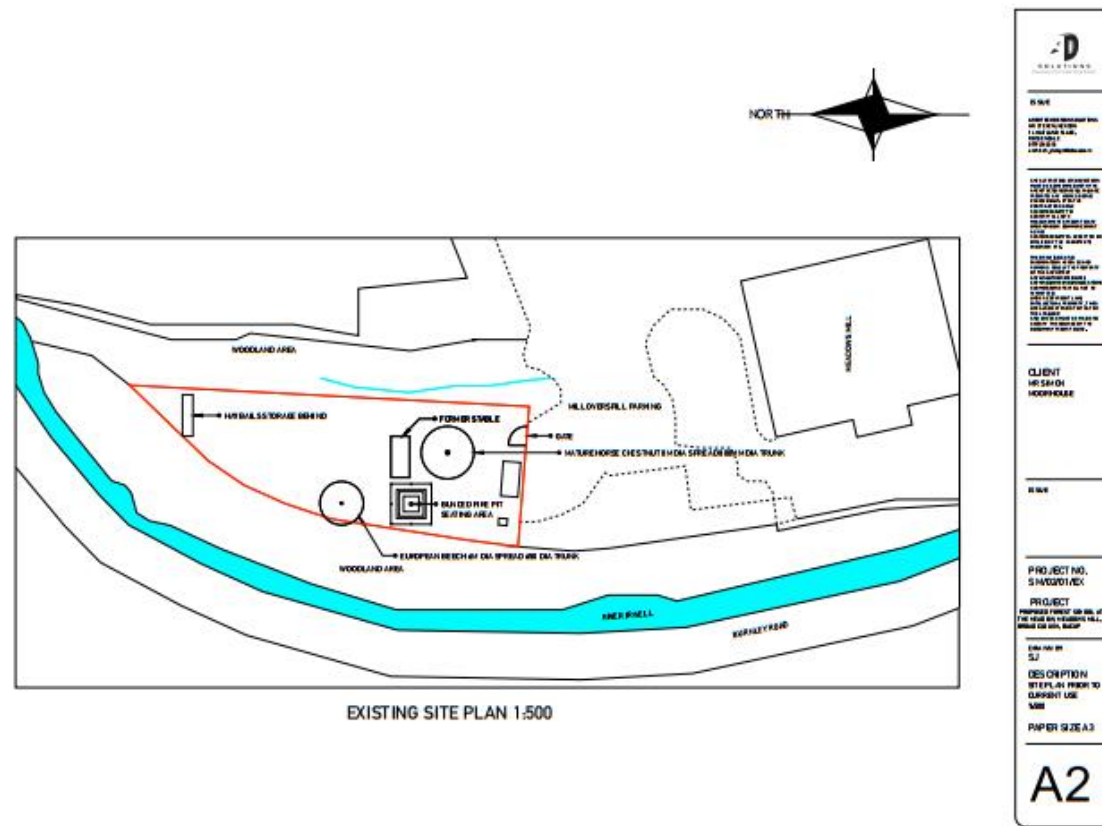
LOCATION PLAN 1:1250



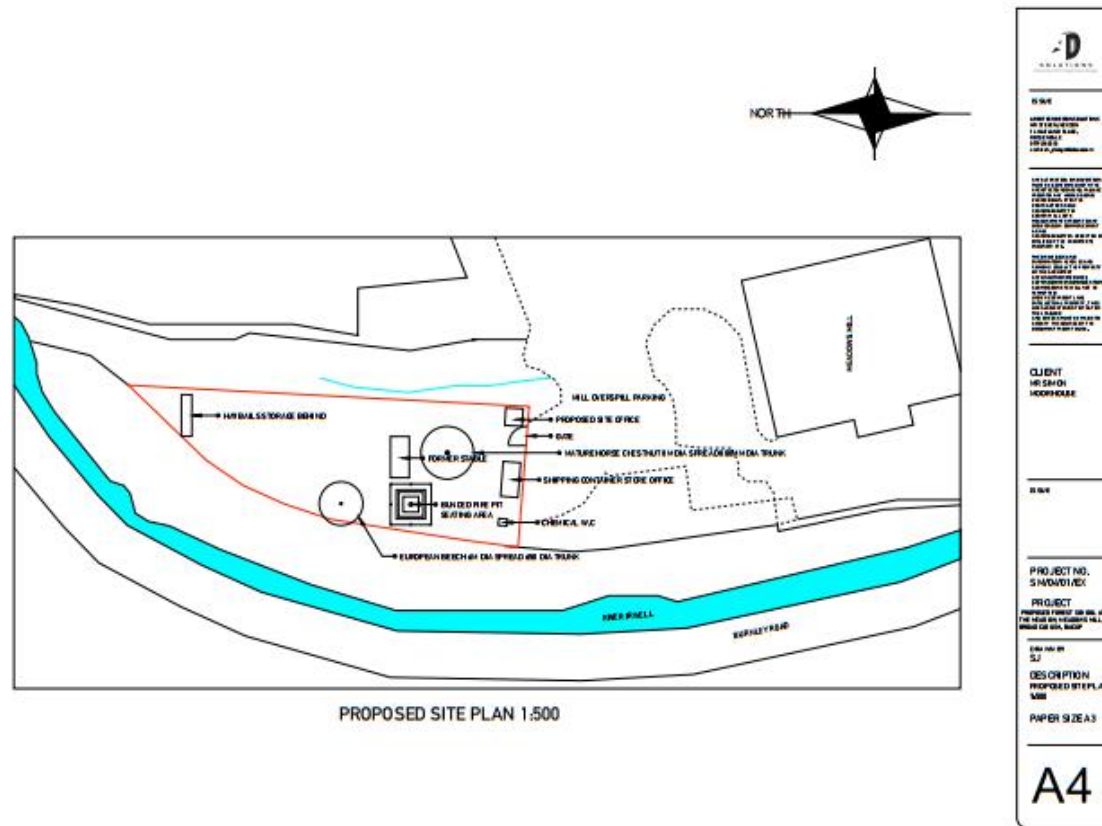
CLIENT THE SHARPS WOODHOUSE
PROJECT NO. SHARPS/01/01/01
PROJECT PROPOSED CONSTRUCTION OF A NEW BUILDING ON THE SITE OF THE OLD SHARPS WOODHOUSE
DATE 12/12/12
DESIGNATION LOCATION PLAN
PAPER SIZE A3
A1



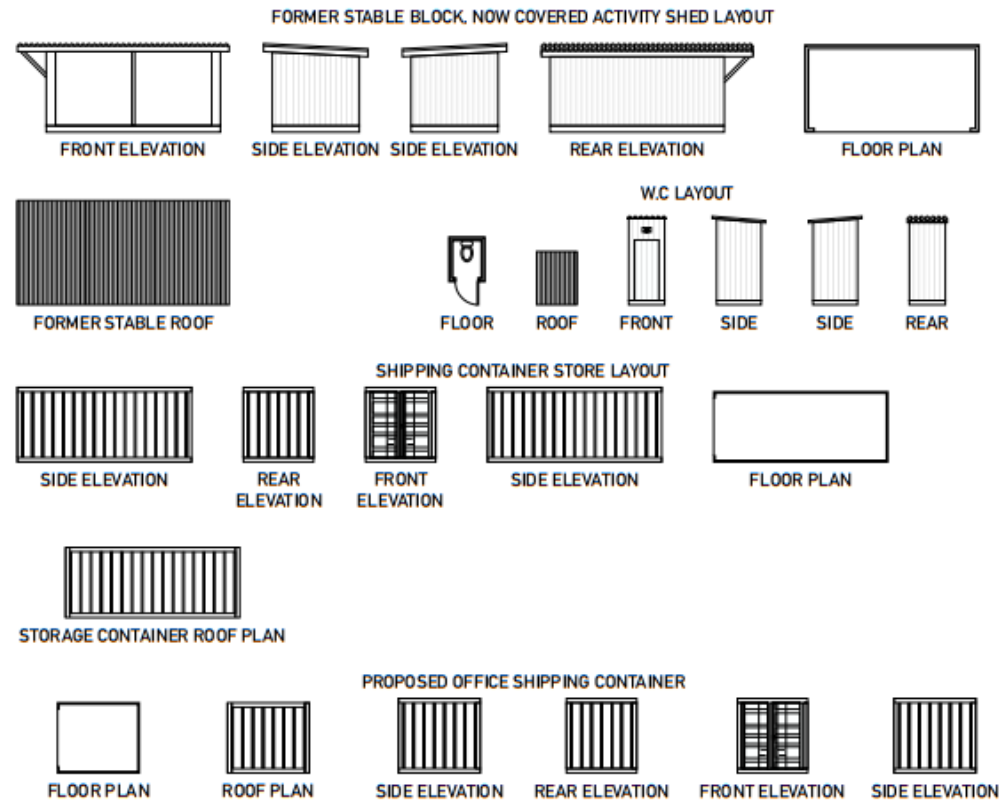
# Existing Site Plan



# Proposed Site Plan



# Elevations, Floor & Roof Plans



**DESIGN**

DATE: 10/10/2023  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
PROJECT NO: 2023/001

**CLIENT**

MR. SMITH  
HOCKEY

**PROJECT NO.**

2023/001

**PROJECT**

PROPOSED OFFICE SHIPPING CONTAINER

**DESIGNER**

DESIGN: [Signature]  
LOCATION: [Signature]  
DATE: 10/10/2023

**PAPER SIZE**

A5

# Photograph





# Photograph





# Photograph





# Photograph





# Photograph






# Photograph



# Photograph



The background of the slide features several large, light green, organic, leaf-like shapes scattered across a white background. These shapes vary in size and orientation, creating a natural, flowing pattern.

**Item B3**  
**2025/0333 – 14 Carr Lane.**

**Two storey side extension**

# Location Plan

 **Buy A Plan**



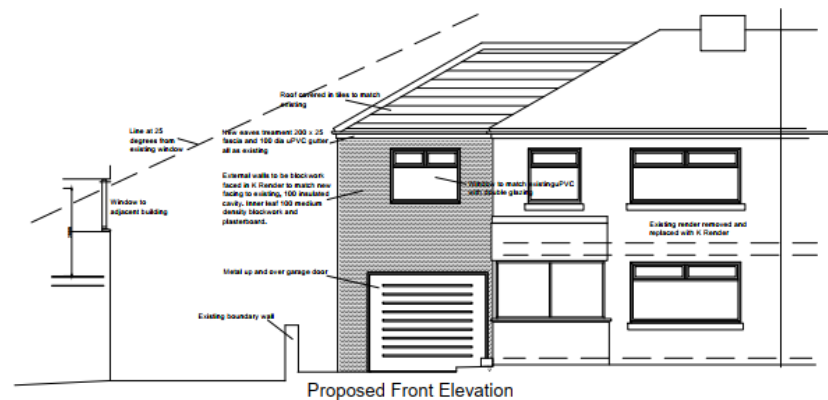
14, Carr Lane, Rawtenstall, Rossendale, Lancashire, BB4 6BE



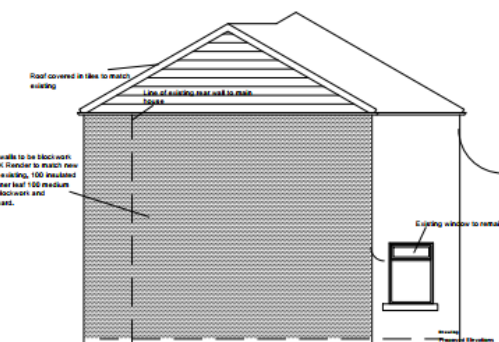
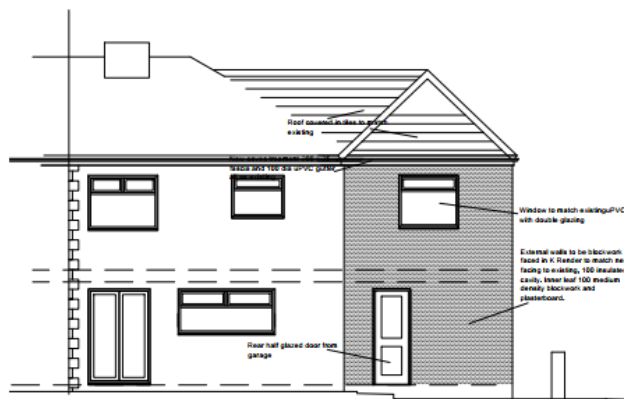
Location Plan shows area bounded by 581011.03, 42156.77 281153.45, 42207.69 (at a scale of 1:1250), OSGridRef: SD81082222. The representation of a road, track or path is no evidence of a right of way. The representation of a building is not a representation of a property boundary.  
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# Elevations



### Proposed Front Elevation



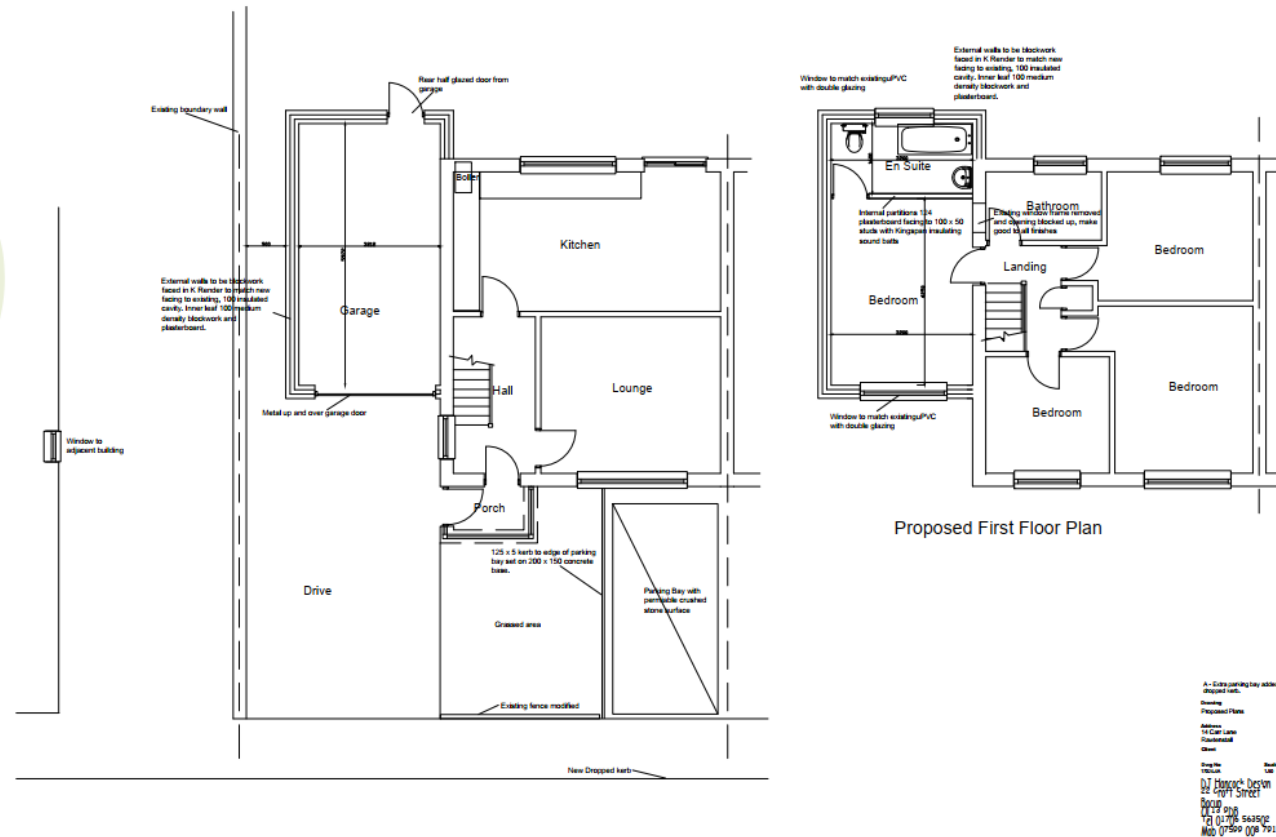
### Proposed Side Elevation

Address  
14 Cedar Lane  
Kennebunkport  
Maine

Maple  
04746

DT Hancock Design  
22 Profit Street  
Bacon  
0119 908  
Tel 01702 563502  
Mob 07599 008 790

# Floor Plans



# Photograph



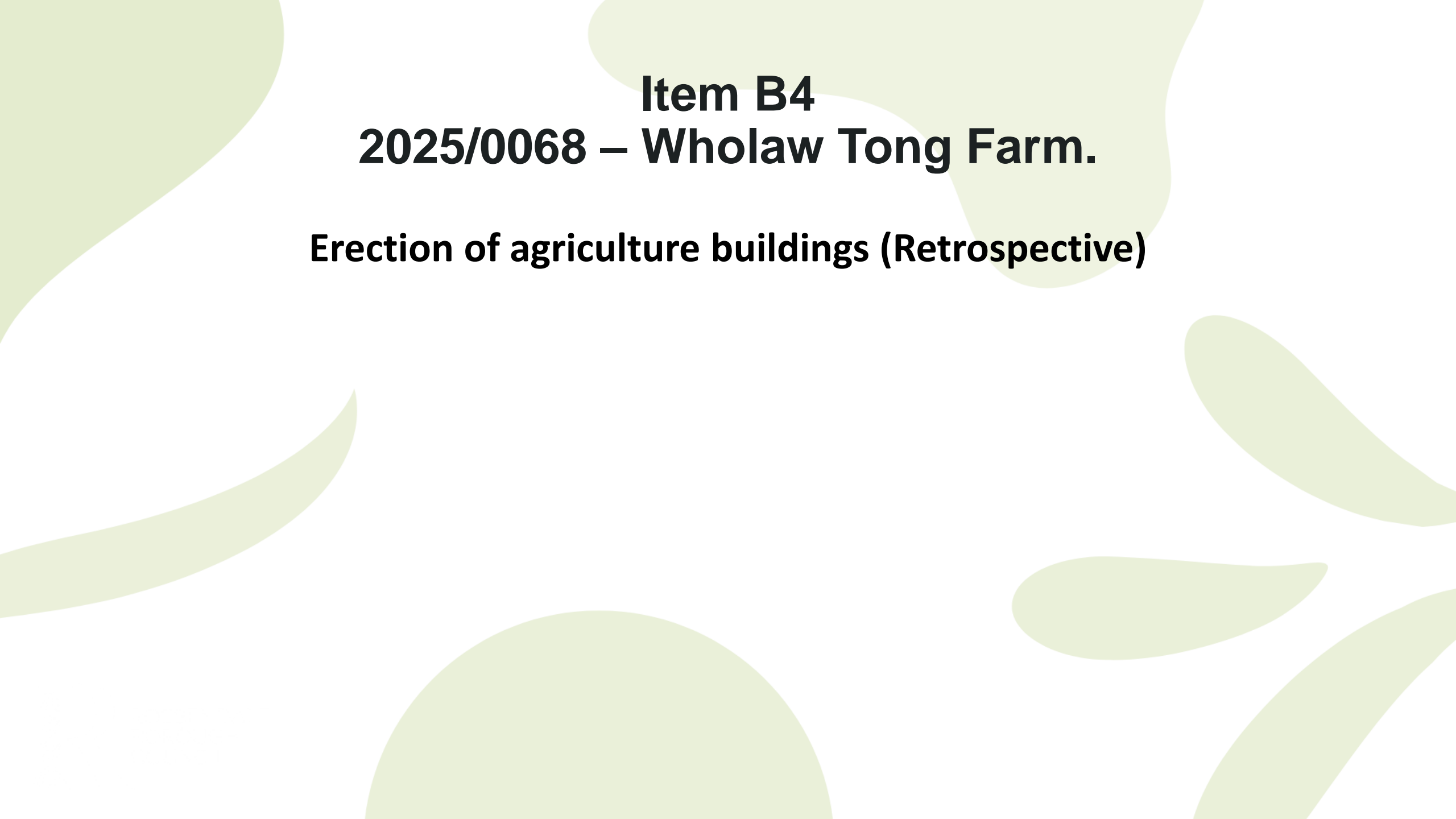
# Photograph





# Photograph



The background of the slide features several large, light green, organic, leaf-like shapes scattered across a white background. These shapes vary in size and orientation, creating a natural, flowing aesthetic.

# **Item B4**

## **2025/0068 – Wholaw Tong Farm.**

**Erection of agriculture buildings (Retrospective)**

# Location Plan

## Location Plan

Site Address: Wholaw Tongue Farm, Coal Pit Lane, Whitewell Bottom, Rossendale, BB4 9SB



Date Produced: 26-Feb-2025

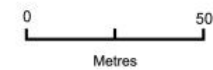
Scale: 1:1250 @A4



Planning Portal Reference: PP-13805059v1



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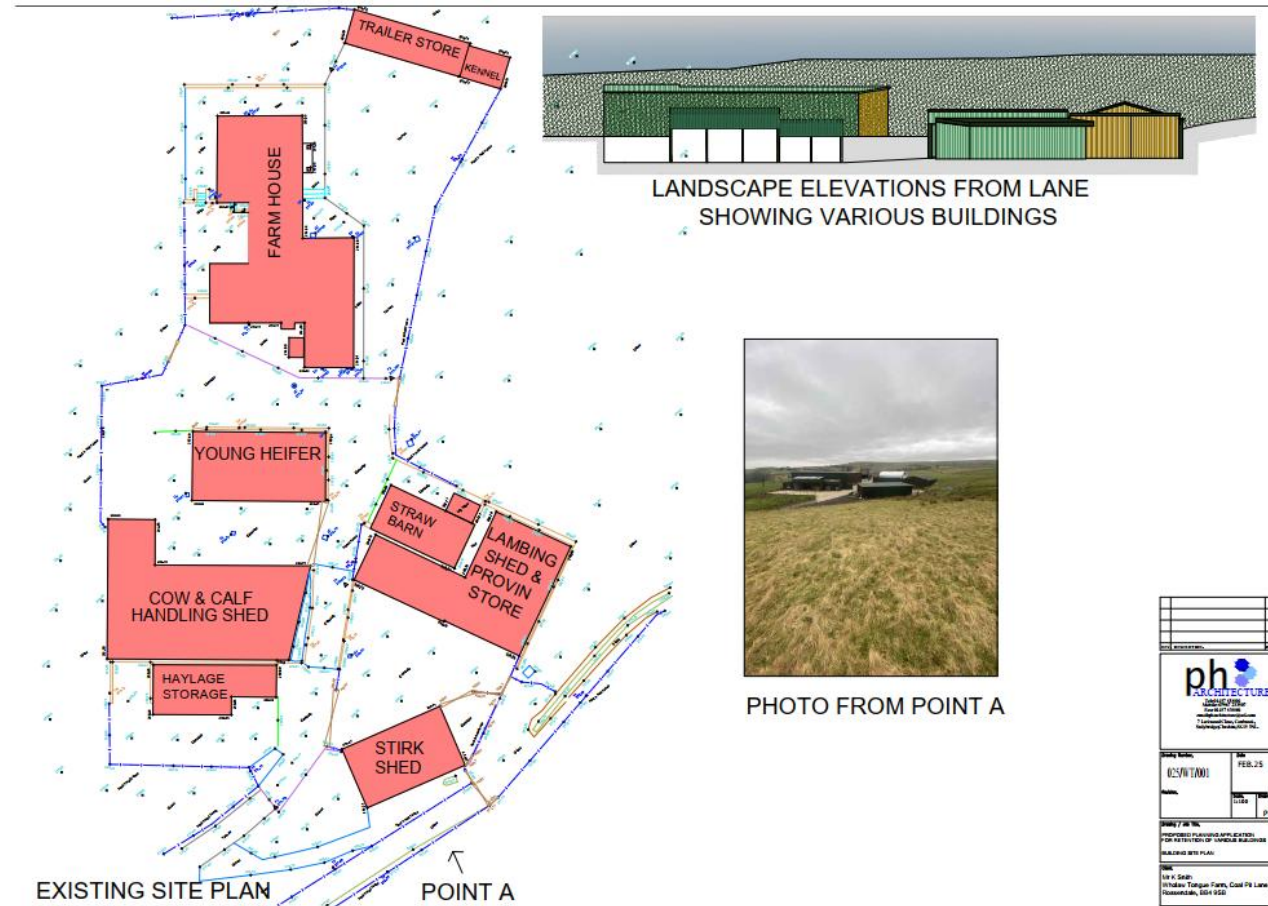
# Elevations



ph ARCHITECTURE PRACTICE	
10000 10th Avenue Edmonton, Alberta T6E 1K1	
Client Name:	02/20/2012
Date:	FEB. 25
Drawn by:	PH
100% / 100%	
APPROVED FOR CONSTRUCTION AND CONTROL FOR PROTECTION OF VARIOUS BUILDINGS	
APPROVED BY:	
By: J. H. Smith Project Manager, Coal Fire Lane, Edmonton, AB T6E 1K1	



# Site Plan



# Photograph



# Photograph





# Photograph



# Photograph



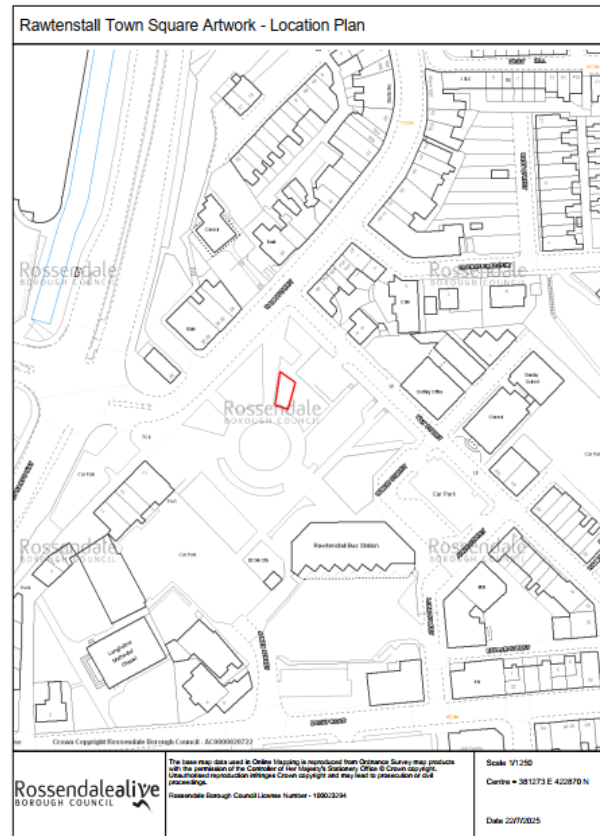
**Item B5**

**2025/0256 – Rawtenstall Town Square, Bank Street.**

**Installation of hare sculpture on Rawtenstall Town Square**



# Location Plan



# Hare Dimensions



# Hare Proposal



# Hare Proposal





# Photographs



# Photographs



## **Item B6**

**2025/0282 – Rawtenstall Market, Newchurch Road.**

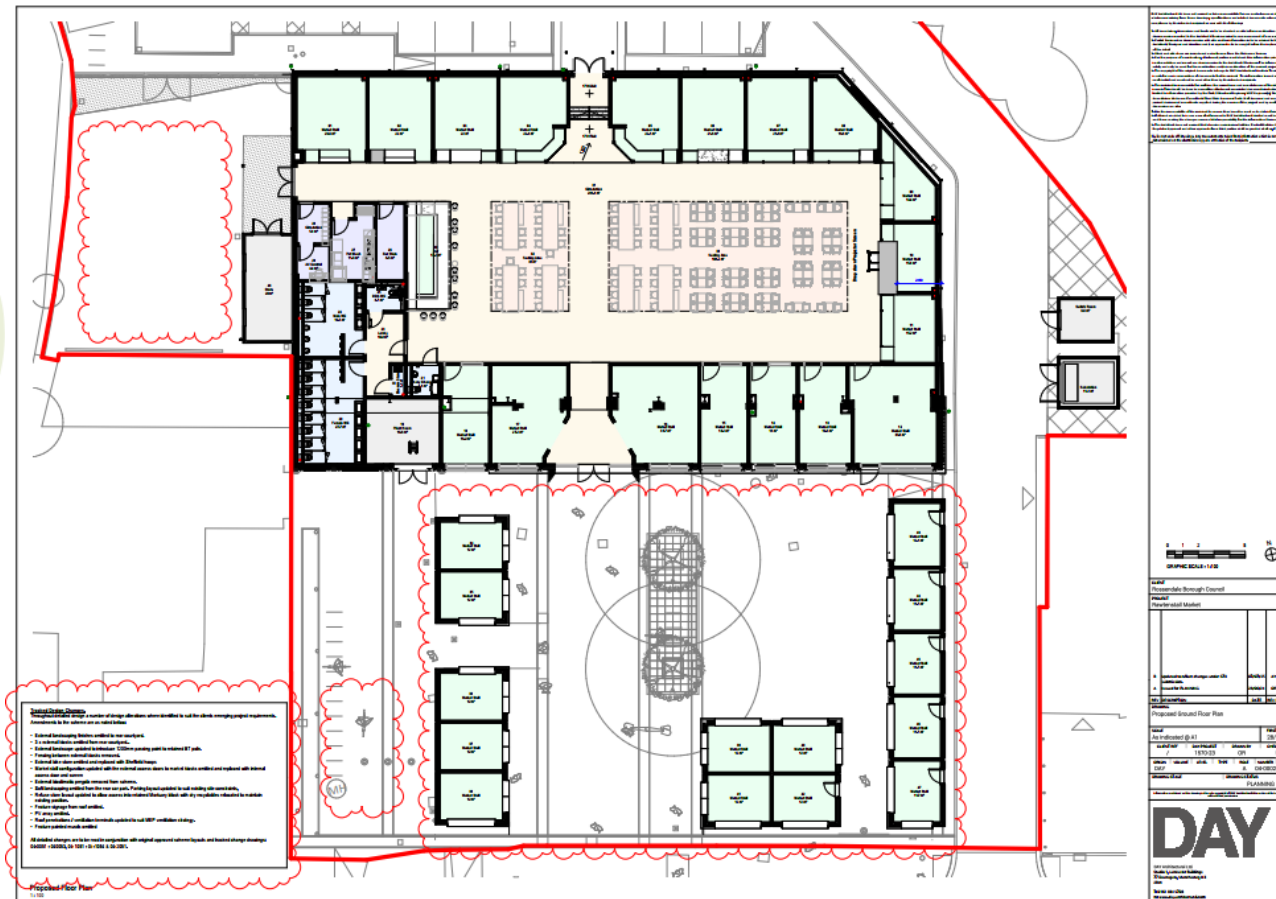
**Variation of conditions 2 (Approved documents) and 11 (Drainage Strategy) pursuant to planning approval 2024/0274**

# Proposed Site Plan

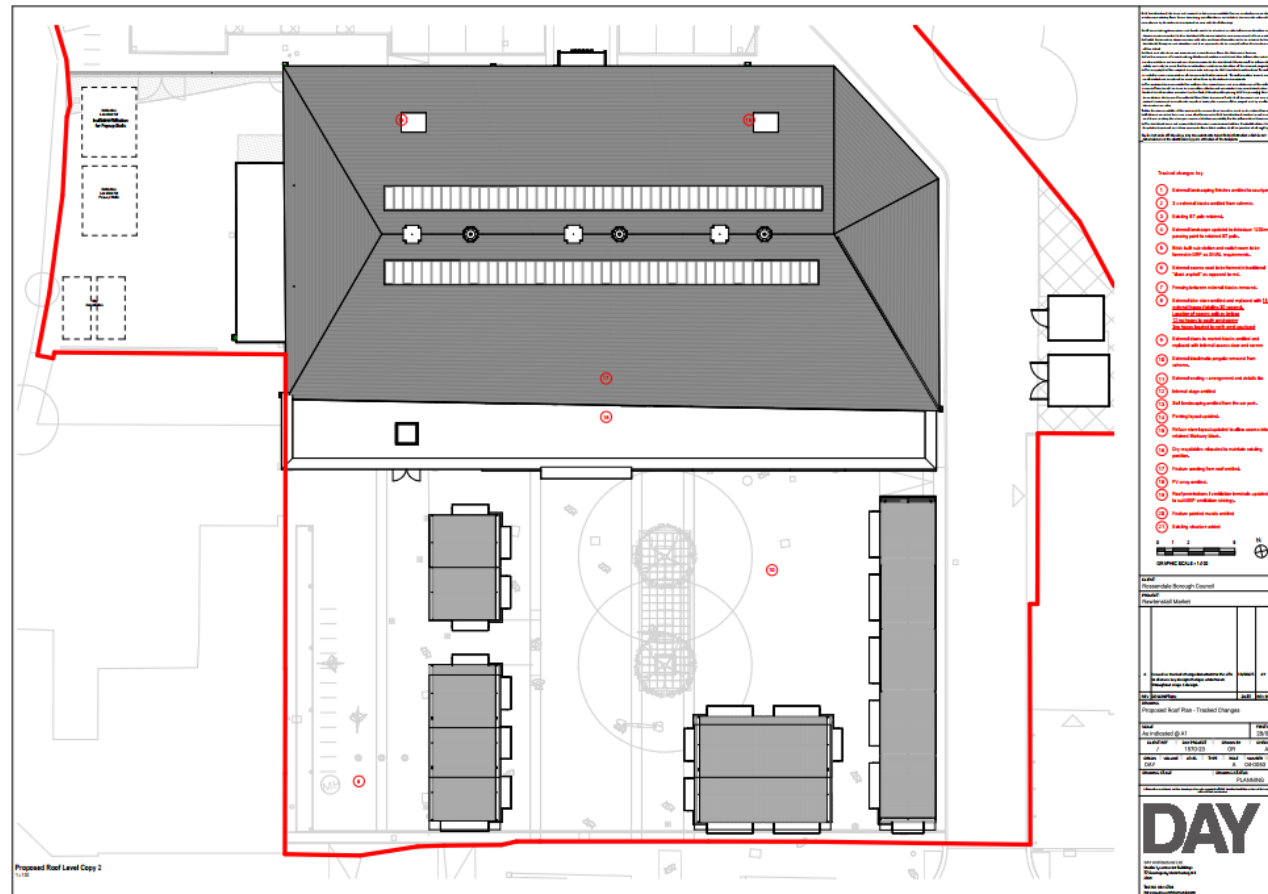




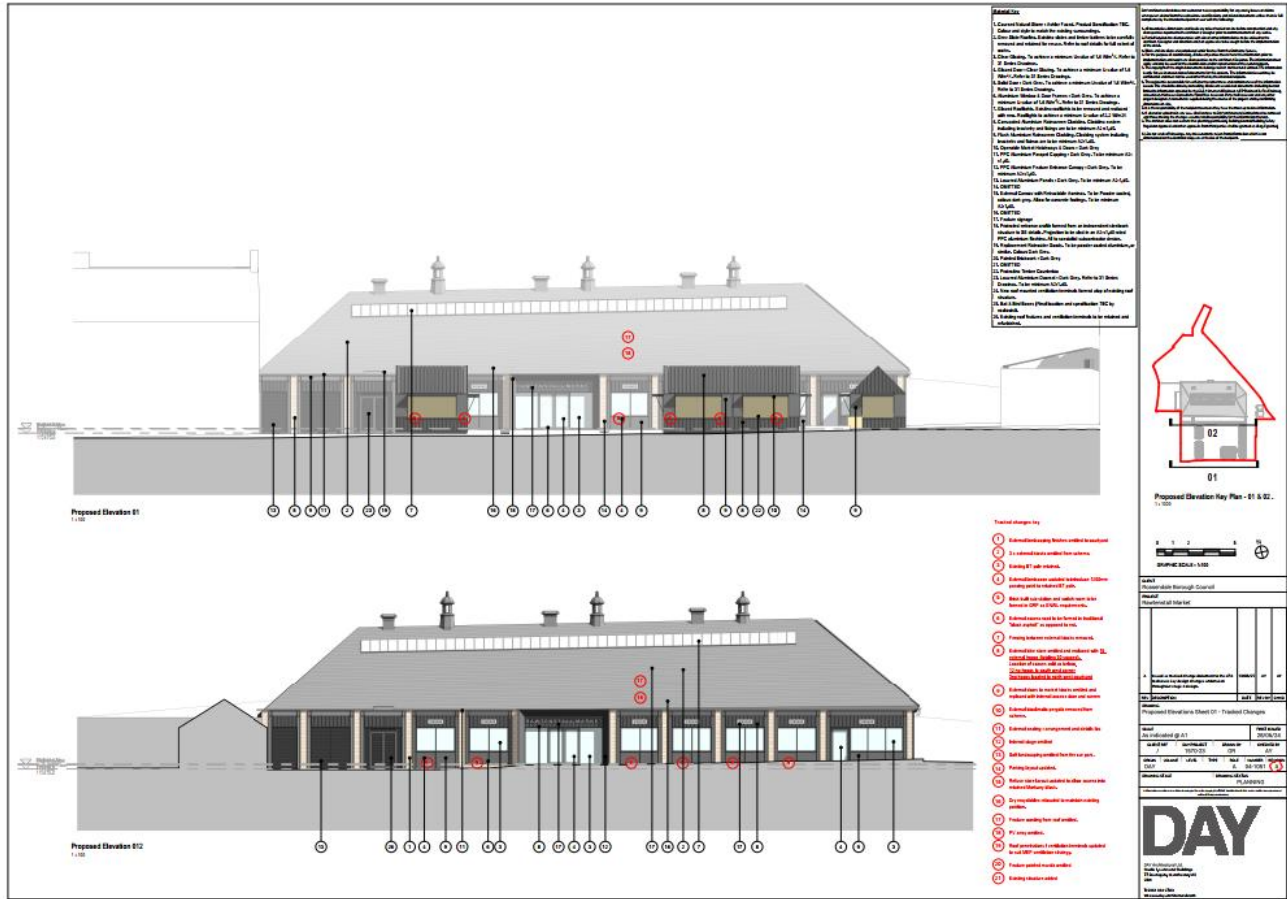
# Proposed Ground Floor Plan



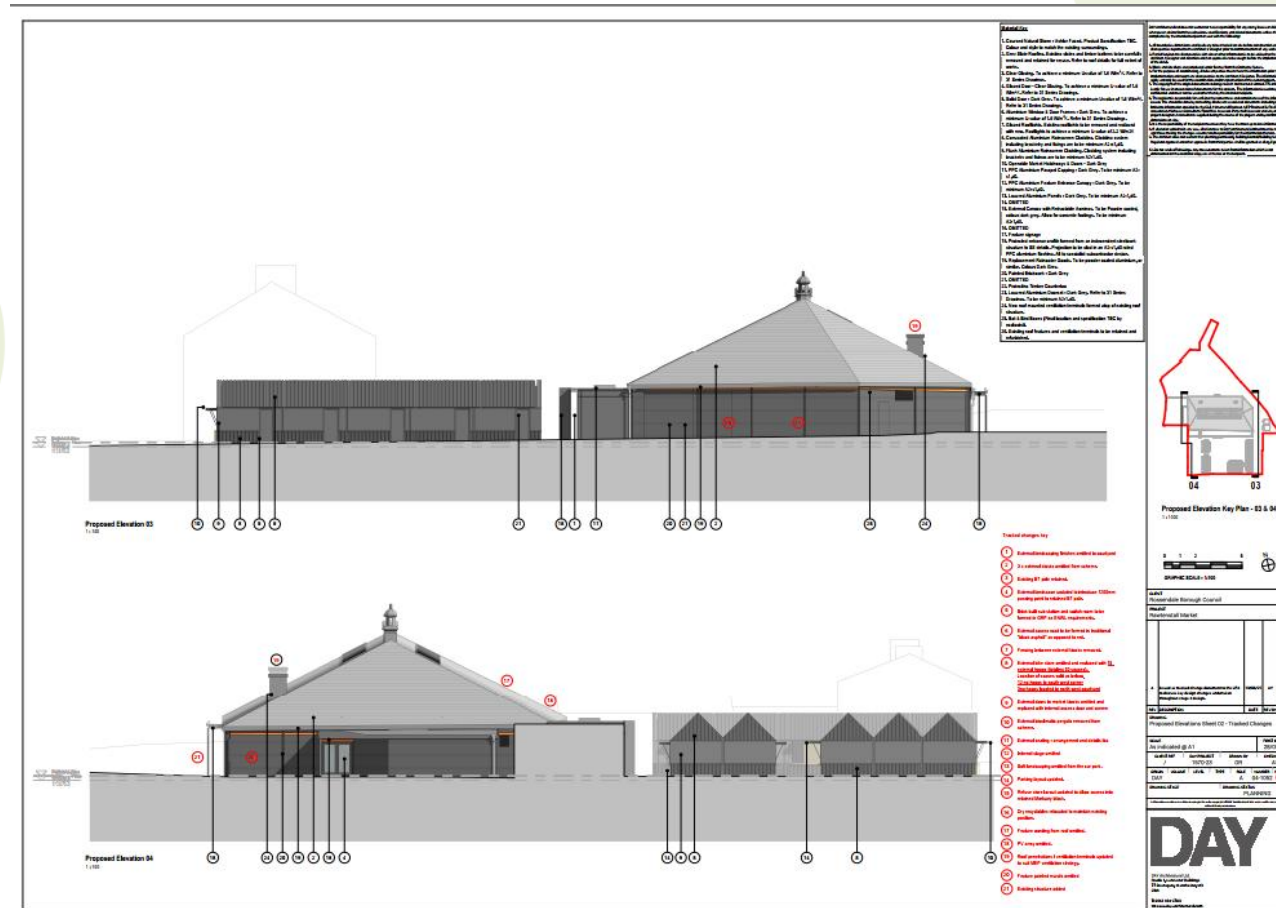
# Proposed Roof Plan



# Proposed Elevations 01

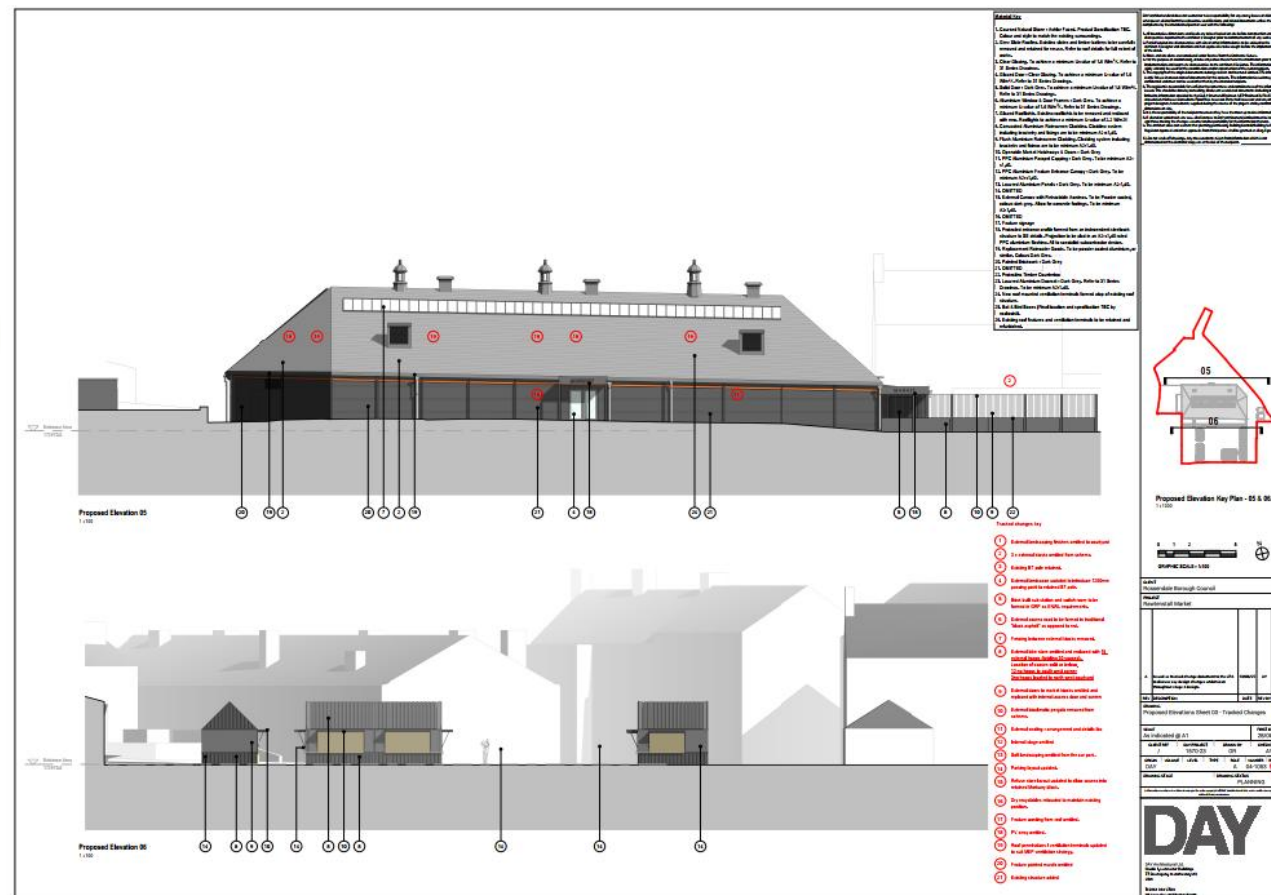


# Proposed Elevations 02





# Proposed Elevation 03



[illegible]

# Photograph



# Photograph

