

Application Number:	2025/0460	Application Type:	Major
Proposal:	S73 Application: Variation of Conditions 2 (Approved Plans), 3 (Materials), 4 (Hard and Soft Landscaping Scheme), 19 (Flood Risk Assessment and Drainage Strategy) and 27 (Biodiversity Gain Plan) pursuant to planning approval 2024/0174.	Location:	Lavender Hills Care Home Stubbins Vale Road Ramsbottom Bury Lancashire BL0 0NP
Report of:	Head of Planning	Status:	For Publication
Report to:	Development Control Committee	Date:	14.04.2026
Applicant:	Millennium Care Group UK	Determination Expiry Date:	01.05.2026
Agent:	Mrs Jessica Hird – STAT Planning		

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REASON FOR REPORTING	
Outside Officer Scheme of Delegation	Yes – Major planning application.
Member Call-In Name of Member: Reason for Call-In:	No
3 or more objections received	No
Other (please state):	N/A

HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights:

Article 8

The right to respect for private and family life, home and correspondence.

Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

1. RECOMMENDATION

That Members resolve that they would be minded to grant planning permission subject to the conditions recommended in section 10 below.

APPLICATION DETAILS

2. SITE

The application relates to Lavender Hills Care Home – a mid-nineteenth century former Victorian mill owner’s mansion (also known as ‘The Cliffe’) that includes modern extensions as well as other modern buildings providing care provision. It is understood from the applicant’s submission that the dwellinghouse known as the ‘The Cliffe’ changed use to a care home in 1990. According to the Council’s records planning permission to convert the building into a private residence for the elderly was granted permission earlier in 1983, with subsequent planning applications suggesting the permission was implemented. Planning permission was also granted to convert the substantial outbuildings/dwellings to the rear of ‘The Cliffe’ into additional rest home accommodation. According to the submitted details the care home currently contains 44 bedspaces and includes ancillary accommodation, car parking and landscaped gardens.

The original building has been altered and extended significantly including a two storey modern extension of stone construction to the left hand side and a two storey link building between the original building and the buildings to the rear. ‘The Cliffe’ is not a listed building but has been identified as a Non-Designated Heritage Asset (NDHA). The Chatterton / Strongstry Conservation Area is over 200m to the east of the care home building, on the opposite of the East Lancashire Railway route.

The care home lies to the northwest of Stubbins Vale Road and Stubbins Vale Mill, Ramsbottom, with access taken from Stubbins Vale Road via a steep and, in parts, single width road. The care home stands on top of a slope looking down over Stubbins and out across the valley. Surrounding the care home are landscaped areas and a dense area of woodland and vegetation which, in parts, is covered by a Tree Preservation Order and a Biological Heritage Site named ‘Lower Red Lees, Buckden Wood and Ox Hey Wood’.

The site which is the subject of this application relates to the access road, the care home car park and an area of land to the east of the main house which includes outdoor amenity areas for occupants of the care home and soft landscaping. A steep gradient covers a significant part of the site.

The care home and the application site are located within an area of countryside designated as Green Belt on the Policies Map accompanying the Council’s Local Plan. The care home and its ground are also designated as Green Infrastructure and a Mineral Safeguarding Area on the Policies Map.

3. RELEVANT PLANNING HISTORY

2024/0174 – Major Application: Care home extension to create an additional 48 en-suite bedrooms and 4 extra care apartments, including communal facilities, landscaping and parking and publicly accessible facilities to benefit the wider community. (Approved 04.09.2024)

2023/0017/PREAPP – Pre-application enquiry: Advice in respect to a model of care design through the addition of 32 bedrooms with ancillary accommodation, 12 male only dementia units and four extra care apartments with associated communal facilities, landscaping and parking, in addition to publicly accessible facilities to benefit the wider community. (Formal advice issued 19.10.2023).

2009/0086 – Conservatory extension to existing Nursing home linking with existing nursing annexe building, with associated internal alterations. (Approved 01.05.2009)

14/90/205 – Change of use and extension of dwelling to an E S M I Unit. (Approved 01.06.1990).

14/87/169 – Change of use including extensions and alterations to existing outbuildings to form Rest Home. (Approved 17.07.1987)

14/86/129 – Two storey extension. (Approved 18.04.1986)

14/83/206 – Change of use to private residence for the elderly. (Approved 16.06.1983)

4. PROPOSAL

The applicant seeks to vary Conditions 2 (Approved Plans), 3 (Materials), 4 (Hard and Soft Landscaping Scheme), 19 (Flood Risk Assessment and Drainage Strategy) and 27 (Biodiversity Gain Plan) attached to planning permission ref. 2024/0174.

The original permission granted an extension to the existing care home to create an additional 48 en-suite bedrooms and 4 extra care apartments, including communal facilities, landscaping and parking and publicly accessible facilities to benefit the wider community.

The applicant states that the proposed changes are reflective of the implementation project team reviewing the extant permission and confirming that the approved details would not comply with The Building and Safety Act and Building Regulations, especially in terms of fire safety. Therefore, the changes are critical to ensuring the delivery of the scheme. The amendments to the approved plans are summarised below:

- Relocation of stair and lift core
- Relocation of stairs to the corridor ends
- Addition and repositioning of fire doors
- Adjustments to floor plans to ensure structural alignment
- Updated finished floor levels to align with new building survey
- Introduction of a dedicated plant room and service risers

The proposed amendments have resulted in the following internal changes to the floor plans:

- **Basement Floor Plan:** inclusion of a plant and dedicated tank room to the rear in place of the commercial kitchen which is relocated to the lower ground floor. Stair cores are located to the end of each wing and central with the stair lift.
- **Lower Ground Floor Plan:** The rear-built form is extended upwards to the floor to accommodate the kitchen and laundry room. Stair cores are located to the end of each wing and central with the stair lift.
- **Ground Floor Plan:** Stair cores are located to the end of each wing and central with the stair lift.
- **First Floor Plan:** The built form slightly alters where the approved café/ bistro bar is located which is relocated and encompassed into the central corridor route and the stair core, lift and direct access to the external terrace is now positioned directly next to the terrace area.

To accommodate the amendments the footprint of the care home extension would be increased, as would the red line boundary of the site area from that area approved under the original permission. The overall increase in area is around 28m².

In terms of the additional built form, the applicant has provided the following comparison table which confirms the overall increase across the four floors of the building. The total increase in floor space is 578.6sqm.

Floor	Approved	Proposed
Basement	843.6m2	943.2m2
Lower	887.0m2	1154.6m2
Ground	1139.4m2	1235.5m2
First	445.1m2	560.4m2
Total	3,315.1m2	3,893.7m2

In terms of the external changes, the overall design, form and appearance of the building would not be significantly altered, but the proposed amendments include:

- Finished floor levels have been updated following a detailed site and building survey to ensure accurate coordination between the existing care home and the proposed extension, resulting in structural alignment.
- Window and door openings have been rationalised and repositioned to reflect the revised internal room layouts and the reconfigured stair cores at each gable end, with minor adjustments also proposed to the arrangement of windows and their proportions.
- The relocation of the stair cores to the end gables would result in extensions to the side elevations. The extensions would be constructed out of materials to match those already approved (Bradstone square dressed buff stonework and anthracite detailing).

Notwithstanding some of the details included within the submitted documentation, Officers can confirm there would be no change in the number of approved bedrooms (48 extra care bedrooms) and extra care apartments (4) forming part of the care home extension, and the communal leisure facilities such as the salon, terrace and community café etc. would also be retained.

The car parking and surrounding services, including landscaping shown on the approved site plan remain unchanged. The proposed northern stair core would encroach further into the trees surrounding the site as originally approved under ref. 2024/0174. The applicant has assessed the impact on trees and this has been discussed in further detail below.

The applicant is also seeking to vary the following conditions attached to the original planning permission.

Condition 3 (Full Details of Materials): Proposing to include the wording 'or something similar' after Bradstone Square Dressed Buff colour reconstituted stone on the basis of the manufacturers ceasing production of the (Newlay Walling Stone) of the Bradstone dressed walling.

Condition 4 (Hard and Soft Landscaping Scheme): Proposing to amend the terms of the condition so reference is made to the latest Landscape Design Statement and Strategy Plan submitted for consideration as part of this application.

Condition 19 (Flood Risk Assessment and Drainage Strategy): Proposing to amend the terms of the condition so reference is made to the latest Flood Risk Assessment and Drainage Strategy submitted for consideration as part of this application.

Condition 27 (Biodiversity Gain Plan): Proposing to amend the terms of the condition so reference is made to the latest Landscape Strategy Plan and BNG Report submitted for consideration as part of this application.

5. POLICY CONTEXT

National Planning Policy Framework

Section 2 – Achieving Sustainable Development
Section 4 – Decision Making
Section 5 – Delivering a Sufficient Supply of Homes
Section 6 – Building a Strong, Competitive Economy
Section 8 – Promoting Healthy and Safe Communities
Section 9 – Promoting Sustainable Transport
Section 11 – Making Effective Use of Land
Section 12 – Achieving Well Designed Places
Section 13 – Protecting Green Belt Land
Section 14 – Meeting the Challenge of Climate Change, Flooding and Coastal Change
Section 15 – Conserving and Enhancing the Natural Environment
Section 16 – Conserving and Enhancing the Historic Environment

Development Plan Policies

Rossendale Local Plan

SS: Spatial Strategy

SD1: Presumption in Favour of Sustainable Development

SD2: Urban Boundary and Green Belt

SD4: Green Belt Compensatory Measures

HS1: Meeting Rossendale's Housing Requirement

HS8: Private Outdoor Amenity Space

HS15: Specialist Housing

ENV1: High Quality Development in the Borough

ENV2: Historic Environment

ENV3: Landscape Character and Quality

ENV4: Biodiversity, Geodiversity and Ecological Networks

ENV5: Green Infrastructure Networks

ENV6: Environmental Protection

ENV9: Surface Water Run-Off, Flood Risk, Sustainable Drainage and Water Quality

ENV10: Trees and Hedgerows

TR2: Footpaths, Cycleways and Bridleways

TR4: Parking

Other Material Considerations

National Planning Practice Guidance

National Design Guide

RBC Climate Change SPD (2022)

RBC Strategic Housing Market Assessment Update (2019)

Planning permission granted under application 2024/0174 and the Committee Report prepared for the application.

6. CONSULTATION RESPONSES

Consultee	Response
Heritage Consultant (Growth Lancashire)	No objection.
Lead Local Flood Authority (Lancashire County Council)	No objection.
Local Highway Authority (LCC Highways)	No objection.
Tree Officer (Growth Lancashire)	No objection.
United Utilities	No comments received.

7. REPRESENTATIONS

To accord with the General Development Procedure Order a press notice was published, a site notice was posted near to the site, and letters were sent to neighbouring properties.

1 objection has been received in total, with the following concerns raised:

- a) Increased loss of trees
- b) Increase surface water runoff and flood risk
- c) The underground drains and water systems in the area are very old and may not cope with the development
- d) Impact of the development on the landscape and character and appearance of the area and nearby conservation area.
- e) Increase in light pollution and impact on neighbouring uses and wildlife.

In response to the above, it should be noted that:

- a) The submitted Arboricultural Impact Assessment confirms no additional tree removals would be required to facilitate the proposed amendments to the scheme already approved. The Council's Tree Officer has reviewed the submitted details and has raised no objection.
- b) The Lead Local Flood Authority (LLFA) has reviewed the updated Drainage Strategy and Flood Risk Assessment and has raised no objection. The final surface water drainage strategy will be secured by condition.
- c) Permission has already been granted for the development, and it is not considered that the proposed amendments would add any greater burden on the existing water and drainage systems in the area than the scheme already approved.
- d) See relevant sections below. In short, it is not considered that the proposed amendments would have materially greater impact on the landscape and character and appearance of the area and nearby Conservation Area than the scheme already approved.
- e) There is no reason to suspect that the proposed amendments would result in an increase in light pollution that would have a detrimental impact on neighbouring uses and wildlife.

8. ASSESSMENT

Planning permission has already been granted on the site for the development of expanding the care home. That permission remains live. As such, the acceptability in principle of this development is already established.

Paragraph 11 of the Framework contains a presumption in favour of sustainable development. For decision-taking this means:

c) approving development proposals that accord with an up-to-date development plan without delay; or

d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:

i. the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for refusing the development proposed; or

ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

The Council cannot currently demonstrate a five-year supply of deliverable housing land within the Borough. Therefore, the weight to be afforded to the Council's Local Plan policies important to the determination of any planning application is a matter for the decision maker. The need for an assessment / balancing exercise in the context of paragraph 11(d) of the Framework is therefore triggered at the time of writing.

Assessment of this application must relate only to consideration of the aspects which the applicant seeks to vary from the scheme previously approved.

Impact on the Green Belt

The development approved under planning application ref. 2024/0174 was identified as inappropriate development in the Green Belt in terms of national planning policy, and the assessment concluded that the development would harm the openness of the Green Belt in this location. Nonetheless, the assessment found that the harm to the Green Belt, and any other harm resulting from the development, was clearly outweighed by other considerations including substantial benefits such as the delivery of specialist dementia care in a purpose-built care setting, the identified need for such accommodation, as well as the undersupply of residential accommodation. For full details on this issue, consideration should be given to the Committee report produced for application ref. 2024/0174.

In dealing with this application proposing minor amendments to the scheme already approved, it is necessary to only consider the potential impact the proposed amendments would have on the Green Belt – and not the development as a whole. The proposed amendments would maintain the layout and built form envelope previously approved, and the building height, footprint and massing would not be extended to a degree that would affect the openness of the Green Belt. No new areas of hardstanding or ancillary development within the grounds of the care home are proposed.

Overall, it is considered that the proposed amendments would not result in any significantly greater reduction of openness in both visual and spatial terms than the scheme already approved, and the degree of harm to the Green Belt remains similar to that identified under the previous application.

Visual Amenity and Landscape Impact

The proposed amendments would not change the overall form, scale and design of the scheme approved under the original planning application – the proposed care home extension would have

a similar appearance to that already approved and the surrounding land (i.e. paths, walls etc.) would not appear markedly different either. The massing of the building has inevitably changed as a result of the total increase in volume, but there would be little discernible change considering the majority of the additional volume would be accommodated at basement and lower ground floor level. In terms of detailing, it's not considered that the proposed amendments involving changes to the arrangement of window and door openings and the size of certain openings would materially alter the appearance of the proposed development approved under the original scheme. It's considered that the proposed amendments to the design and appearance of the proposed care home extension are visually acceptable.

In terms of the development's impact on the surrounding landscape, for reasons already discussed it is not considered that the proposed amendments would materially increase the visual and landscape effects above what has already been permitted. As per the assessment undertaken for the original planning application, it is considered that the adverse visual impact on the landscape could be mitigated by a suitable and detailed landscaping scheme for the development and wider site. Further concerns in regard to the appropriate ratio of replacement tree planting and other planting across the site (including within proposed retaining structures) can also be suitably addressed by condition. The relevant conditions in this regard have been recommended again.

Heritage Impact

Lavender Hills Care Home, the original dwellinghouse formerly known as 'The Cliffe', is a non-designated heritage asset (NDHA). Growth Lancashire, who act as the Council's Conservation Officer, concluded that the original scheme approved under 2024/0174 would result in some low level harm to the heritage significance of the 'The Cliffe', but were satisfied that the development would not have any adverse heritage impact on other NDHAs in the local area, listed buildings, or the Chatterton/Strongstray Conservation Area to the east of the site.

In reference to the proposed amendments, Growth Lancashire have confirmed they have no objection to the variations from the original scheme. In respect of Conditions 2 (Approved Plans/Documentation), 3 (Materials) and 4 (Hard and Soft Landscaping), Growth Lancashire have commented:

Condition 2: *The amended plans reflect the changes made to the extension. I have reviewed the amended plans and overall, I feel that they are relatively minor and will have no additional notable impact on the building as an NDHA or to its setting and find the changes to be acceptable.*

Condition 3: *The Planning Statement notes that all glazing remains anthracite grey aluminium with stone lintels and cills. 'Bradstone square dressed walling or equivalent, colour buff' is still to be used across the building.*

The amended south and east elevations appear to show new areas of cladding between window openings which do not feature on the drawings submitted previously. Whilst I have no in principle objections to the use of cladding, the finish and colour of the cladding should be submitted for approval. This information should be provided under the Condition 3.

As the majority of materials remain the same across the building, I have no additional comments to make on this part of the scheme. However, Condition 3 cannot yet be discharged as samples and supporting literature have not yet been provided.

Condition 4: *I have assessed the existing 'Landscaping Strategy' plan and additional information against that submitted under the current VOC application. As the alterations to the landscaping are minor, there will be no additional impact on the building as an NDHA or its setting and I find the*

alterations to be acceptable. Nevertheless, the information requested under Condition 4 has not been provided, and as such the Condition cannot yet be discharged.

In regards to the comments on condition 3, it is considered reasonable to amend the terms of the condition to ensure a sample of the proposed cladding is submitted to the Local Planning Authority for approval. It's also considered that the applicant's request to amend the terms of the condition to allow a reconstituted stone similar to the Bradstone listed is acceptable.

Neighbour Amenity / Residential Amenity

It is not considered that the proposed amendments would unduly harm the amenity of existing residents living at the care home or neighbouring residents living in the surrounding area to any greater degree than the scheme already approved, which was considered to be acceptable in terms of neighbour and residential amenity.

Highway Matters

The applicant has submitted a Transport Addendum Note in support of the application. In summary, the Note confirms the proposed amendments would not require any amendments to be made to the access or parking arrangements on site, nor result in any change to local network conditions that would require supporting mitigation works.

The Local Highway Authority has been consulted on the application and has raised no objection to the amendments proposed.

Drainage and Flood Risk

The updated Drainage Strategy and Flood Risk Assessment confirms that the drainage strategy and design remain unchanged from that approved under the original scheme. The Drainage Strategy has been revised to incorporate the revised layout and plans of the development, and therefore it will be necessary to amend the terms of Condition 2 (Approved Plans/Documentation) and Condition 19 (Final Surface Water Sustainable Drainage Strategy) so reference is made to the latest Drainage Strategy.

The Lead Local Flood Authority has been consulted on the application and has raised no objection to the amendments proposed.

Green Infrastructure, Trees and Green Belt Compensation

The site lies within an area of identified Green Infrastructure comprising part of the Woodland Network and serves specifically as a 'stepping stone habitat'. The land designated as Green Infrastructure washes over Lavender Hills Care Home and its wider grounds and encompasses the surrounding woodland.

The approved scheme encroached into parts of the existing Green Infrastructure, resulting in the loss of multiple trees and formalised grassland, however Officers were satisfied that a net loss of Green Infrastructure could be avoided through securing a high-quality landscaping scheme that includes compensatory tree planting of native species, improved function and connectivity of the network and better management of the Green Infrastructure within the applicant's ownership.

The submitted Arboricultural Impact Assessment confirms that no further trees are required for removal to accommodate the proposed amendments to the scheme, and the increased footprint of the building would be mostly on land that is already formalised as part of the care home's grounds.

On the basis that a high-quality landscaping scheme will be secured by condition, it is considered that the proposed amendments to the scheme would reasonably meet the requirements of Policies SD4, ENV5 and ENV10 of the Local Plan in regards to Green Infrastructure, Trees and Green Belt Compensation.

Ecology / BNG

A Biodiversity Net Gain Assessment Addendum has been submitted in light of the minor increase in site area. The Addendum states that the development will be able to deliver a minimum of 10% net gain in biodiversity on site in order to satisfy the mandatory requirement in regards to BNG.

In terms of the development's impact on ecology and protected species, there are no grounds to suspect that the development would pose any greater risk in ecological terms than the scheme previously approved. The relevant ecological conditions attached to the previous permission will be imposed on any new consent granted.

Conclusion

The in-principle acceptability of the scheme has already been established through the granting of the planning permission under application ref. 2024/0174, which remains live.

The proposed amendments to the scheme (and consequential variations of the wording of conditions) are considered acceptable, and would not significantly alter the impacts of the development as a whole.

The amendments would bring the development in line with the relevant fire and building safety legislation and CQC and care management expectations, and would therefore ensure the deliverability of the scheme.

As such, it is recommended that planning permission is granted.

9. SUMMARY REASON FOR APPROVAL

The acceptability in principle of the scheme has already been established under planning permission ref. 2024/0174. The proposed amendments would not significantly alter the impacts of the development, which remains acceptable in the context of the Local Plan and the National Planning Policy Framework.

10. CONDITIONS

1. The development hereby approved shall be begun before the expiration of three years from the date of this permission.

Reason: Required by Section 51 of the Planning and Compulsory Purchase 2004 Act.

2. The development shall be carried out in accordance with the following drawings and documentation unless otherwise required by the conditions below:

Drawing Title/Document	Drawing No./Reference	Date
Site Location Plan	1446-JDA-XX-XX-DR-	02.09.2025

	A-0000 Rev P01	
Proposed Site Plan	1446-JDA-XX-XX-DR-A-0002 Rev P01	08.09.2025
Proposed Elevations Sheet 1	1446-JDA-Z1-ZZ-DR-A-0001 Rev P02	08.10.2025
Proposed Elevations Sheet 2	1446-JDA-Z1-ZZ-DR-A-0002 Rev P02	08.10.2025
Proposed Basement Floor	1446-JDA-Z1-B1-DR-A-0001 Rev P03	29.01.2026
Proposed Lower Ground Floor	1446-JDA-Z1-L1-DR-A-0001 Rev P03	29.01.2026
Proposed Ground Floor	1446-JDA-Z1-00-DR-A-0001 Rev P03	29.01.2026
Proposed First Floor	1446-JDA-Z1-01-DR-A-0001 Rev P02	29.01.2026
Proposed Roof Plan	1446-JDA-Z1-RF-DR-A-0001 Rev P01	02.09.2025
External Works Plan	1446-JDA-XX-XX-DR-A-0003 Rev P02	08.10.2025
Cycle Store	1446-JDA-XX-XX-DR-A-0004 Rev P01	02.09.2025
Proposed Sections	1446-JDA-Z1-ZZ-DR-A-0003 Rev P01	July 2025
Landscape Strategy Plan	CSA/6832/104 Rev E	06.10.2025
Landscape Design Statement	CSA/6832/02	November 2025
Tree Survey, Arboricultural Implications Assessment & Method Statement	232036/AIA/AMS/ Rev B	October 2025
Drainage Strategy and Flood Risk Assessment	8749-ADS-XX-XX-RP-C-500 P2	November 2025
Travel Plan prepared by Focus TP	J000359-TP01	February 2024
Phase 1 Preliminary Risk Assessment	23-8749	January 2024

Reason: To define the permission and in the interests of the proper development of the site.

3. Prior to the commencement of above ground construction, full details (including physical samples and supporting trade literature) of the following shall be submitted to and approved in writing by the Local Planning Authority:
- Bradstone Square Dressed Buff colour reconstituted stone, or similar in terms of style and appearance
 - Contrasting stone to windows and door headers
 - Windows and doors
 - Metal Fascias
 - Rainwater goods
 - Roofing materials
 - Cladding

The development shall thereafter be implemented in strict accordance with the approved details and they shall be retained as approved thereafter.

Reason: In the interests of securing a high quality finish to the development.

4. Prior to the commencement of development, using the principles contained within the approved Landscape Design Statement (ref. CSA/6832/02 and dated November 2025) and Landscape Strategy Plan as shown on drawing no. CSA/6832/104 Rev E (dated 06.10.2025), a full scheme of hard (including all external ground surfacing materials) and soft landscaping, including tree planting, grass seed/turf mix, plant numbers, locations, mix, etc., a specification for depth of soil and its cultivation and the setting out, planting, staking, protection and mulch of the ornamental stock, shall be submitted to and approved in writing by the Local Planning Authority. The landscaping scheme shall include full details of any seating, outbuildings or other recreational amenities such as the children's play area etc. The development shall proceed in strict accordance with the approved landscaping scheme.

Hard landscaping forming part of the approved scheme shall be completed prior to first occupation of the development. All soft landscaping and planting forming part of the approved scheme shall be undertaken in accordance with a timetable of implementation which shall be provided with the submitted details.

All trees lost as a result of the development shall be replaced with compensatory planting using native species at a ratio of at least 2:1 or higher where deemed necessary by the Local Planning Authority in consultation with their Landscape Consultant.

Any shrubs/trees removed, dying or becoming seriously damaged, or diseased within 10 years of planting shall be replaced by plants of a similar size or species.

Reason: Insufficient information has been submitted with the application in relation to landscaping, in the interests of visual amenity, neighbour amenity and biodiversity, and to ensure compliance with Policy SD4 and Policy ENV5 in regards to Green Belt compensation and Green Infrastructure respectively.

5. Prior to the commencement of development full details of all retaining structures, including their appearance, materials, planting and maintenance / management proposals, shall be submitted to and approved in writing by the Local Planning Authority. The development shall proceed in strict accordance with the approved details, and shall be managed / maintained thereafter as such.

For the lifetime of the development, any planting or foliage fitted within retaining structures (i.e. proposed Kriblok retaining wall) removed, dying or becoming seriously damaged, or diseased or failing to establish within the retaining wall shall be replaced by plants/foilage of a similar size or species. All soft landscaping and planting forming part of the approved scheme shall be undertaken in accordance with a timetable of implementation which shall be provided with the submitted details.

Reason: Insufficient information has been submitted with the application in relation to the appearance, materials and planting proposals for the retaining structures forming part of the development, and in the interests of visual amenity.

6. Prior to commencement of the development, full details of the alignment, height and appearance of all fences, walls, gates and other boundary treatments/means of enclosure

to be erected (notwithstanding any such detail shown on the submitted plans) shall be submitted to and approved in writing by the Local Planning Authority.

All fences, walls, gates and other boundary treatments/means of enclosure shall be erected in accordance with the approved details prior to first occupation of the development hereby approved.

Reason: Insufficient information has been submitted with the application in relation to all boundary treatments forming part of the development, and in the interests of visual amenity.

7. Prior to commencement of the development, a Construction Environmental Management Plan shall be submitted to and approved in writing by the Local Planning Authority. The approved plan shall include details of how the nearby Biological Heritage Site named 'Lower Red Lees, Buckden Wood and Ox Hey' will be adequately protected during construction.

The development shall thereafter proceed in strict accordance with the approved Plan unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the nearby Biological Heritage Site is adequately protected during construction.

8. No works to trees or shrubs shall occur or building works commence between the 1st March and 31st August in any year unless a nesting bird survey method statement by a suitably experienced ecologist has first been supplied to and agreed in writing by the Local Planning Authority.

Reason: To protect nesting birds.

9. Prior to any earthworks or vegetation clearance a reasonable avoidance measures method statement for mammals including badger and other wildlife shall be submitted to and approved in writing by the Local Planning Authority.

The development shall thereafter proceed in strict accordance with the approved statement unless otherwise agreed in writing by the Local Planning Authority.

Reason: To protect wildlife.

10. Prior to any earthworks or machinery being brought on site a statement detailing biosecurity protocols and control measures for Himalayan balsam shall be submitted to and approved in writing by the Local Planning Authority.

The development shall thereafter proceed in strict accordance with the approved statement unless otherwise agreed in writing by the Local Planning Authority.

Reason: To suitably control or eradicate Himalayan balsam.

11. Prior to first use or occupation of the development hereby approved full details of measures to mitigate for the loss of existing bird nesting habitat and bat roosting habitat shall be submitted to and approved in writing by the Local Planning Authority.

The approved mitigation measures shall be implemented prior to substantial completion of the development.

Reason: To mitigate for the loss of bird nesting and bat roosting habitat.

12. No development shall commence until a Landscape and Ecology Management Plan has been submitted to and approved in writing by the Local Planning Authority. The plan shall confirm the management and maintenance of any soft landscaping not covered by the statutory biodiversity condition.

The development shall thereafter proceed in strict accordance with the approved plan unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure on-site habitats of low ecological value are appropriately managed and maintained in the long term.

13. Notwithstanding any information submitted with the application, no development shall take place until an investigation and risk assessment has been submitted to and approved in writing by the Local Planning Authority. The submitted report shall include:

- i. A Phase 2 Site Investigation report shall be submitted to and approved in writing by the Local Planning Authority prior to commencement of development. The investigation shall address the nature, degree and distribution of land contamination on site and shall include an identification and assessment of the risk to receptors focusing primarily on risks to human health, groundwater and the wider environment; and
- ii. Should unacceptable risks be identified the applicant shall also submit and agree with the Local Planning Authority in writing a contaminated land remediation strategy (including verification plan) prior to commencement of development. The development shall thereafter be carried out in full accordance with the duly approved remediation strategy or such varied remediation strategy as may be agreed in writing with the Local Planning Authority.

Reason: To mitigate risks associated with land contamination and to ensure the site is suitable for the proposed end use.

14. Pursuant to condition 13; and prior to first use or occupation a verification report, which validates that all remedial works undertaken on site were completed in accordance with those agreed with the Local Planning Authority, shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To mitigate risks associated with land contamination and to ensure the site is suitable for the proposed end use.

15. No development shall take place, including any works of demolition, until a construction method statement has been submitted to and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period. It shall provide for:

- i) The parking of vehicles of site operatives and visitors
- ii) The loading and unloading of plant and materials
- iii) The storage of plant and materials used in constructing the development
- iv) The erection and maintenance of security hoarding
- v) Wheel washing and street sweeping / cleaning facilities
- vi) Measures to control the emission of dust and dirt during construction

- vii) A scheme for recycling/disposing of waste resulting from demolition and construction works
- viii) Routing of delivery vehicles to/from site - taking into account the 14'3" or 4.3m height clearance under the railway bridge on Bolton Road North A676.

Reason: To mitigate the impact of the construction traffic on the highway.

16. Prior to commencement of the development hereby approved the vegetation within the visibility splay at the site access junction Stubbins Vale Road measured X 2.4m by Y 43m in both directions along Stubbins Vale Road shown on drawing J000359/SK01 shall be reduced in height to a maximum of 1m above the carriageway of Stubbins Vale Road and maintained thereafter for as long as the development is occupied.

Reason: To ensure a safe access to the site.

17. Prior to first use of the development hereby permitted the parking and turning areas shall be laid out in accordance with the submitted plans. The parking and turning areas shall thereafter be retained for the lifetime of the development, and kept available for use as such.

Reason: To ensure adequate car parking and turning.

18. Prior to first use of the development hereby permitted the secure covered cycle store shall be provided and maintained thereafter for that purpose for the lifetime of the development.

Reason: To support sustainable travel.

19. No development shall commence in any phase until a detailed, final surface water sustainable drainage strategy for the site has been submitted to, and approved in writing by, the Local Planning Authority.

The detailed surface water sustainable drainage strategy shall be based upon the site specific flood risk assessment submitted, titled Drainage Strategy And Flood Risk Assessment ref. 8749-ADS-XX-XXRP-C-500 P2 and dated November 2025, and sustainable drainage principles and requirements set out in the National Planning Policy Framework, Planning Practice Guidance and Defra Technical Standards for Sustainable Drainage Systems. No surface water shall be allowed to discharge to the public foul sewer(s), directly or indirectly.

The details of the drainage strategy to be submitted for approval shall include, as a minimum;

a) Sustainable drainage calculations for peak flow control and volume control for the:

- i. 100% (1 in 1-year) annual exceedance probability event;
- ii. 3.3% (1 in 30-year) annual exceedance probability event + 40% climate change allowance, with an allowance for urban creep;
- iii. 1% (1 in 100-year) annual exceedance probability event + 45% climate change allowance, with an allowance for urban creep

Calculations must be provided for the whole site, including all existing and proposed surface water drainage systems.

- b) Final sustainable drainage plans appropriately labelled to include, as a minimum:
- i. Site plan showing all permeable and impermeable areas that contribute to the drainage network either directly or indirectly, including surface water flows from outside the curtilage as necessary;
 - ii. Sustainable drainage system layout showing all pipe and structure references, dimensions and design levels; to include all existing and proposed surface water drainage systems up to and including the final outfall;
 - iii. Details of all sustainable drainage components, including landscape drawings showing topography and slope gradient as appropriate;
 - iv. Drainage plan showing flood water exceedance routes in accordance with Defra Technical Standards for Sustainable Drainage Systems;
 - v. Finished Floor Levels (FFL) in AOD with adjacent ground levels for all sides of each building and connecting cover levels to confirm minimum 150 mm+ difference for FFL;
 - vi. Details of proposals to collect and mitigate surface water runoff from the development boundary;
 - vii. Measures taken to manage the quality of the surface water runoff to prevent pollution, protect groundwater and surface waters, and deliver suitably clean water to sustainable drainage components;
- c) Evidence of an assessment of the site conditions to include site investigation and test results to confirm infiltration rates and groundwater levels in accordance with BRE 365.
- d) Evidence of an assessment of the existing on-site watercourse be used, to confirm that these systems are in sufficient condition and have sufficient capacity to accept surface water runoff generated from the development.
- e) Evidence that a free-flowing outfall can be achieved. If this is not possible, evidence of a surcharged outfall applied to the sustainable drainage calculations will be required.

The sustainable drainage strategy shall be implemented in accordance with the approved details.

Reason: To ensure satisfactory sustainable drainage facilities are provided to serve the site in accordance with Paragraphs 173 and 175 of the National Planning Policy Framework, Planning Practice Guidance and Defra Technical Standards for Sustainable Drainage Systems.

20.No development shall commence until a Construction Surface Water Management Plan, detailing how surface water and stormwater will be managed on the site during construction, including demolition and site clearance operations, has been submitted to and approved in writing by the Local Planning Authority.

The details of the plan to be submitted for approval shall include method statements, scaled and dimensioned plans and drawings detailing surface water management proposals to include for each phase, as a minimum:

- a) Measures taken to ensure surface water flows are retained on-site during the construction phase(s), including temporary drainage systems, and, if surface water flows are to be discharged, they are done so at a restricted rate that must not exceed the equivalent greenfield runoff rate from the site.
- b) Measures taken to prevent siltation and pollutants from the site entering any receiving groundwater and/or surface waters, including watercourses, with reference to published guidance.

The plan shall be implemented and thereafter managed and maintained in accordance with the approved details for the duration of construction.

Reason: To ensure the development is served by satisfactory arrangements for the disposal of surface water during each construction phase(s) so it does not pose an undue surface water flood risk on-site or elsewhere during any construction phase in accordance with Paragraph 173 of the National Planning Policy Framework.

21. The occupation of the development shall not be permitted until a site-specific Operation and Maintenance Manual for the lifetime of the development, pertaining to the surface water drainage system and prepared by a suitably competent person, has been submitted to and approved in writing by the Local Planning Authority.

The details of the manual to be submitted for approval shall include, as a minimum:

- a) A timetable for its implementation;
- b) Details of the maintenance, operational and access requirement for all SuDS components and connecting drainage structures, including all watercourses and their ownership;
- c) Pro-forma to allow the recording of each inspection and maintenance activity, as well as allowing any faults to be recorded and actions taken to rectify issues;
- d) The arrangements for adoption by any public body or statutory undertaker, or any other arrangements to secure the operation of the sustainable drainage scheme in perpetuity;
- e) Details of financial management including arrangements for the replacement of major components at the end of the manufacturer's recommended design life;
- f) Details of whom to contact if pollution is seen in the system or if it is not working correctly; and
- g) Means of access for maintenance and easements.

Thereafter the drainage system shall be retained, managed, and maintained in accordance with the approved details.

Reason: To ensure that surface water flood risks from development to the future users of the land and neighbouring land are minimised, together with those risks to controlled waters, property, and ecological systems, and to ensure that the sustainable drainage system is subsequently maintained pursuant to the requirements of Paragraph 175 of the National Planning Policy Framework.

22. The occupation of the development shall not take place until a site-specific verification report, pertaining to the surface water sustainable drainage system, and prepared by a suitably competent person, has been submitted to and approved in writing by the Local Planning Authority.

The verification report must, as a minimum, demonstrate that the surface water sustainable drainage system has been constructed in accordance with the approved drawing(s) (or detail any minor variations) and is fit for purpose. The report shall contain information and evidence, including photographs, of details and locations (including national grid references) of critical drainage infrastructure (including inlets, outlets, and control structures) and full as-built drawings. The scheme shall thereafter be maintained in perpetuity.

Reason: To ensure that surface water flood risks from development to the future users of the land and neighbouring land are minimised, together with those risks to controlled waters, property, and ecological systems, and to ensure that the development as constructed is compliant with the requirements of Paragraphs 173 and 175 of the National Planning Policy Framework.

23. No development shall commence until all the retained trees within the site as shown on the Tree Protection Plan, have been protected. Such protection shall be installed in accordance with the specification described in the AIA and AMS document, in the positions as shown at Tree Protection Plan, and shall remain until all development is completed and no work, including any form of drainage or storage of materials, earth or topsoil shall take place within the perimeter of such fencing.

Reason: To protect existing trees.

24. No construction deliveries, external running of machinery, or construction works shall take place on the site other than between the following hours:

Monday to Friday 07:30 to 18:00

Construction works shall not take place on Saturdays, Sundays or Bank or Public Holidays.

Reason: To ensure that the proposed construction work does not cause undue nuisance and disturbance to neighbouring properties at unreasonable hours.

25. Prior to first use or occupation of the development hereby approved, full details of how the measures identified within sections 7.2 and 7.3 of the approved Travel Plan (ref. J000359-TP01) have been investigated and implemented (where appropriate) shall be submitted to and approved in writing by the Local Planning Authority.

The Travel Plan shall be implemented in strict accordance with the details set out within the document.

Reason: To support sustainable travel.

26. Prior to first use or occupation of the development hereby approved, full details of how waste from the development will be stored and managed shall be submitted to and approved in writing by the Local Planning Authority.

The development shall thereafter be implemented in strict accordance with the approved details and they shall be retained as approved thereafter.

Reason: To ensure waste from the development is appropriately stored and managed for the lifetime of the development.

27. The Biodiversity Gain Plan shall be prepared in accordance with the following:

- Landscape Strategy Plan no. CSA/6832/104 Rev E and dated 06.10.2025
- Proposed Site Plan ref. 1446-JDA-XX-XX-DR-A-0002 Rev P01 and 08.09.2025

Reason: To ensure the Biodiversity Net Gain Plan is prepared in accordance with the submitted details listed above.

28. The development shall not commence until a Habitat Management and Monitoring Plan (HMMP), prepared in accordance with the approved Biodiversity Gain Plan and including:

- a) a non-technical summary;
- b) the roles and responsibilities of the people or organisation(s) delivering the HMMP;
- c) the planned habitat creation and enhancement works to create or improve habitat to achieve the biodiversity net gain in accordance with the approved Biodiversity Gain Plan;
- d) the management measures to maintain habitat in accordance with the approved Biodiversity Gain Plan for a period of 30 years from the completion of development; and
- e) the monitoring methodology and frequency in respect of the created or enhanced habitat to be submitted to the local planning authority, has been submitted to, and approved in writing by, the local planning authority.

The created and/or enhanced habitat specified in the approved HMMP shall be managed and maintained in accordance with the approved HMMP.

Reason: To ensure the approved Biodiversity Gain Plan is delivered and to ensure the habitat created in line with the approved HMMP is appropriately managed and monitored for 30 years from the completion of the development hereby approved.

29. No part of the development hereby approved shall be occupied until:

- a) the habitat creation and enhancement works set out in the approved HMMP have been completed; and
- b) a completion report, evidencing the completed habitat enhancements, has been submitted to, and approved in writing by the Local Planning Authority.

Reason: To ensure the habitat creation and enhancement works set out in the approved HMMP are completed to the satisfaction of the local planning authority.

30. Monitoring reports shall be submitted to and approved in writing by the local planning authority in accordance with the methodology and frequency specified in the approved HMMP.

Reason: To ensure the development delivers a biodiversity net gain on site in accordance with Schedule 7A of the Town and Country Planning Act 1990 and policy ENV4 of the Local Plan.

11. INFORMATIVES

1. Informative requested by Cadent Gas:

Cadent Gas Ltd own and operate the gas infrastructure within the area of your development. There may be a legal interest (easements and other rights) in the land that restrict activity in proximity to Cadent assets in private land. The applicant must ensure that the proposed works do not infringe on legal rights of access and or restrictive covenants that exist.

If buildings or structures are proposed directly above the apparatus the development may only take place following diversion of the apparatus. The applicant should apply online to have apparatus diverted in advance of any works, by visiting cadentgas.com/diversions

Prior to carrying out works, including the construction of access points, please register on www.linesearchbeforeudig.co.uk to submit details of the planned works for review, ensuring requirements are adhered to.

Your responsibilities and obligations

Cadent may have a Deed of Easement on the pipeline, which provides us with a right of access for a number of functions and prevents change to existing ground levels, storage of materials. It also prevents the erection of permanent/temporary buildings, or structures. If necessary Cadent will take action to legally enforce the terms of the easement.

This letter does not constitute any formal agreement or consent for any proposed development work either generally or related to Cadent's easements or other rights, or any planning or building regulations applications.

Cadent Gas Ltd or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you need any further information or have any questions about the outcome, please contact us at plantprotection@cadentgas.com or on 0800 688 588 quoting your reference at the top of this letter.

2. Whilst the building to be extended has been determined to be very low risk for bats, the applicant is reminded that under the 2019 Regulations it is an offence to disturb, harm or kill

bats. If a bat is found all work should cease immediately and a suitably licensed bat worker employed to assess how best to safeguard the bat(s).

3. During the period of construction, should contamination be found on site that has not been previously identified, no further works shall be undertaken in the affected area. Prior to further works being carried out in the affected area, the contamination shall be reported to the Local Planning Authority within a maximum of 5 days from the discovery, a further contaminated land assessment shall be carried out, appropriate mitigation identified and agreed in writing by the Local Planning Authority. The development shall be undertaken in accordance with the agreed mitigation scheme.
4. The applicant is advised that they have a duty to adhere to the regulations of Part 2A of the Environmental Protection Act 1990, the National Planning Policy Framework and the current Building Control Regulations with regards to contaminated land. The responsibility to ensure the safe development of land affected by contamination rests primarily with the developer
5. The applicant is reminded that, under the Wildlife and Countryside Act 1981 as amended it is an offence to remove, damage, or destroy the nest of a wild bird, while the nest is in use or being built. Planning consent does not provide a defence against prosecution under this act. If a birds nest is suspected work should cease immediately and a suitably experienced ecologist employed to assess how best to safeguard the nest(s).
6. It is an offence under the Wildlife & Countryside Act 1981, as amended to introduce, plant or cause to grow wild any plant listed in Schedule 9 part 2 of the Act. Certain species of Cotoneaster and Rhododendron ponticum are included within this schedule. If any such species will be disturbed as a result of this development and removed off-site a suitably experienced consultant should be employed to advise on how to avoid an offence.
7. Under Section 23 of the Land Drainage Act 1991, as amended by the Flood and Water Management Act 2010, you need consent from the Lead Local Flood Authority if you want to carry out certain works within the banks of any ordinary watercourse. This includes any permanent and/or temporary works, regardless of whether the watercourse is open or culverted (piped or otherwise enclosed) and notwithstanding of any planning permission.
 - Consent must be obtained before starting any works on site. It cannot be issued retrospectively.
 - Sites may be inspected before, during and after the issuing of consent.
 - Unconsented works within the highway or sustainable drainage system may prevent the adoption of highway and sewer assets.
 - Applicants should avoid crossing, diverting and/or culverting an ordinary watercourse.
 - It is an offence to carry out works under Section 23 of the Land Drainage Act 1991 (as amended) without the appropriate consent.

Once planning permission has been obtained it does not mean that Ordinary Watercourse Consent will be given. It is strongly advised that you obtain any required consent before or concurrently as you apply for planning permission to avoid delays.

The county council's ordinary watercourse regulation policies, guidance, application validation checklist and pro-forma can be found at:
<https://www.lancashire.gov.uk/flooding/ordinary-watercourse-regulation/>

8. Where permeable paving is included in the hydrological calculations of a development proposal the Local Planning Authority is advised to consider the removal of permitted

development rights for permeable paving. Should the Local Planning Authority not remove the permitted development rights for permeable paving on privately owned land, the Lead Local Flood Authority will consider the need to designate such areas under Schedule 1 of the Flood and Water Management Act 2010. The District Council, as a flood risk management authority in its own right, also has these powers to designate.

9. The applicant's attention is drawn to the LLFA's site-specific advice set out within the consultation response to the application and original planning application.
10. In relation to mandatory BNG, the Government's suggested text will be applied in full to any Decision Notice issued.



- LEGEND**
- APPLICATION BOUNDARY
 - LAND WITHIN APPLICANT'S CONTROL
 - EXISTING TREES / VEGETATION
 - TREES / VEGETATION REMOVED
 - EXISTING PUBLIC RIGHTS OF WAY
- SOFTWORKS**
- NATIVE TREE PLANTING
 - ORNAMENTAL TREES
 - MULTI-STEM TREE
 - ENHANCED WOODLAND UNDERSTOREY
 - ORNAMENTAL HEDGE PLANTING
 - NATIVE HEDGE PLANTING (Mixed Species)
 - ORNAMENTAL SHRUB / HERBACEOUS / GRASS PLANTING
 - EDIBLE PLANTING
 - CLIMBING SHRUB PLANTING
 - SPECIMEN SHRUB PLANTING
 - BULB PLANTING
 - SHORT MOWN SPECIES RICH LAWN TURF, E.G. WILDFLOWER TURF
 - WILDFLOWER MEADOW PLANTING
 - WETLAND WILDFLOWER MEADOW MIX -
 - AQUATIC PLANTING
 - SWALE - RAIN GARDEN PLANTING
 - POND / ATTENUATION
- HARDWORKS**
- EXTENT OF EXTENSION OF EXISTING TARMACADAM ON SITE
 - RESIN BOUND GRAVEL
 - HOGGIN PATHS
 - STONE FLAG PAVING 'Natural'
 - TURFSTONE (OR SIMILAR APPROVED)
 - RETAINING WALLS (Gabion Baskets)
 - RETAINING WALLS (Dry Stone Walling)
 - PROPOSED MOWN RECREATIONAL FOOTWAYS
- BOUNDARY TREATMENT**
- FLAT-TOPPED METAL RAILING FENCE 1.6m HIGH
 - FLAT-TOPPED METAL RAILING FENCE WITH GATES 1.1m HIGH
- FURNITURE**
- TIMBER SEAT
 - TIMBER PERGOLA AND WALKWAYS
 - CYCLE STAND



E	06/10/25	TV	Amended to reflect plans
D	30/04/24	TV	Updated to client comment
C	22/04/24	TV	Amended to remove ramp
B	09/04/24	PH	Amended to reflect plans
A	02/04/24	PH	Amended to reflect plans

Rev Date By Description

FOR INFORMATION



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Project Porritt Care Village

Title Landscape Strategy Plan

Client Millenium Care

Scale 1:500 @ A1 Drawn PH/TV

Date October 2025 Checked CA

Drawing No. CSA/6832/104 Rev E



Notes

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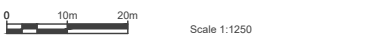


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P01	Initial Issue	02.09.25	SB	RJB
Rev	Description	Date	By	Chk

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Project Details:		Lavender Hills (Porritt Care Village)	
Client:		Millennium Care	
RIBA Workstage:	Stage 3 Planning	Status/Suitability Code:	S3
Scale:	1:1250	Date:	August 2025
Drawn By:	SB	Checked By:	SB
Project Code:	1446-JDA-XX-XX-DR-A-0000	Rev	P01
Description:	Site Location Plan		



Z:\1446 - Lavender Hills - Ramsbottom\Drawings\Live\pics\1446-JDA-XX-XX-DR-A-0000 SiteLocationPlan.dwg

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Key

- Proposed grass/lawn
- Proposed extent of footpath
- Proposed extent of proposed roadways
- Proposed extent of parking spaces
- Extent of proposed building
- Extent of the existing roof utilised for ecological enhancement (BNG) Total area = 125m²
- Extent of the soft landscaped areas potential for Biodiversity Net Gain
- Indicative extent of the area being exempt from a Biodiversity Net Gain
- Green hatched areas shown indicatively. Details to be confirmed by Landscape Architect & Civil Engineer
- Indicative extent of the existing foul drainage
- Indicative extent of the existing surface water drainage
- Indicative extent of the proposed foul drainage
- Indicative extent of the proposed surface water drainage

Existing Parking Arrangements

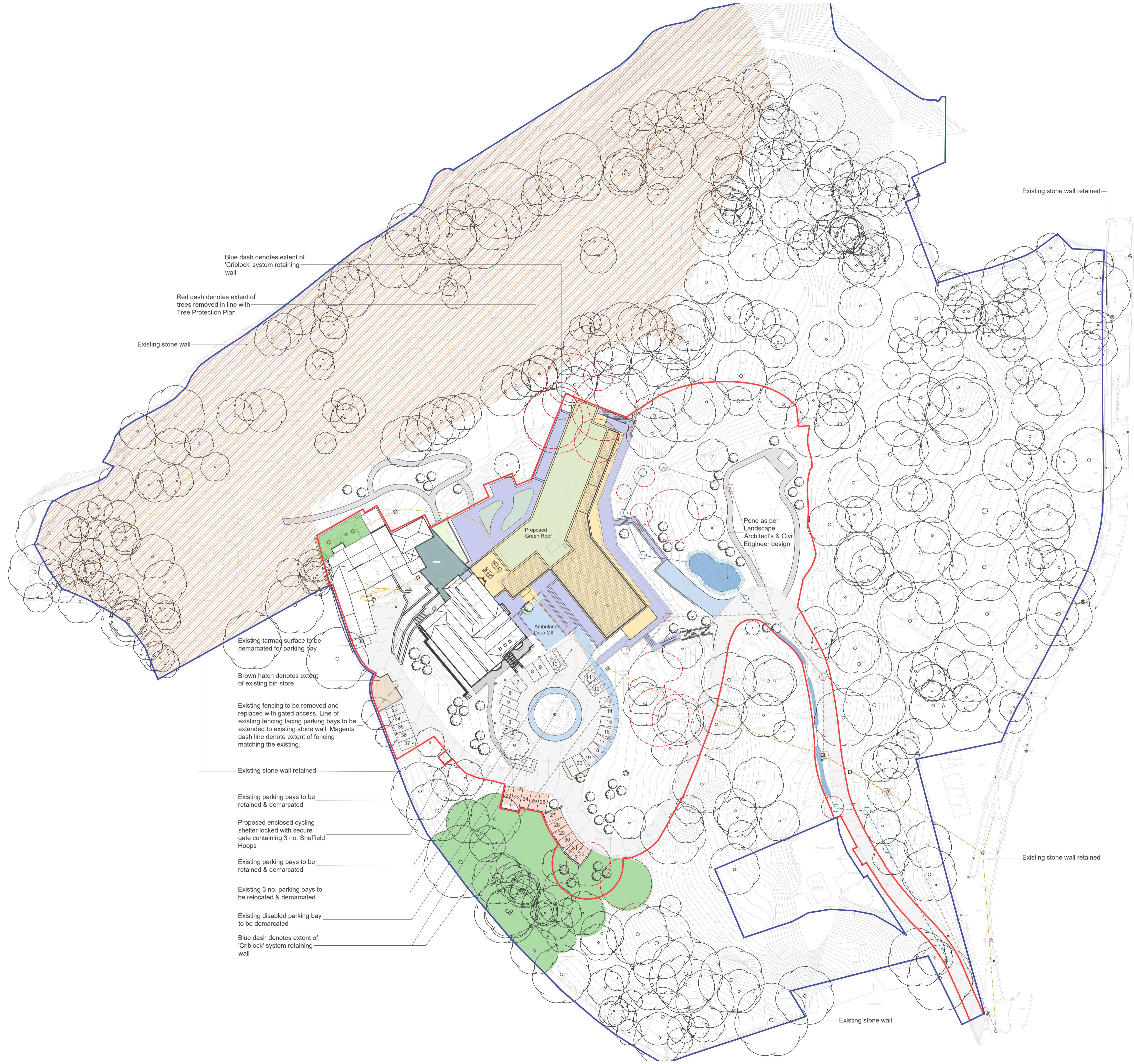
Estimated standard parking bays 2.4m x 4.8m	14
Disabled parking bays	1
Estimated parallel parking bays 2.5m x 6m	5
Total estimated parking provisions	20

Proposed Parking Arrangements

Standard parking bays 2.4m x 4.8m	34
Disabled parking bays	4
Total estimated parking provisions	38

Electric Vehicle Charging Point Provision
 Parking bays no. 6, 7, 9 & 10 to be provided with E.V. charging stand.

Relevant Drawings
 Please refer to (PL) - 015 - Proposed Site Plan External Works drawing for further details on boundary and surface treatments.



Blue dash denotes extent of 'Criblock' system retaining wall

Red dash denotes extent of trees removed in line with Tree Protection Plan

Existing stone wall

Existing tarmac surface to be demarcated for parking bay

Brown hatch denotes extent of existing bin store

Existing fencing to be removed and replaced with gated access. Line of existing fencing facing parking bays to be extended to existing stone wall. Magenta dash line denote extent of fencing matching the existing.

Existing stone wall retained

Existing parking bays to be retained & demarcated

Proposed enclosed cycling shelter locked with secure gate containing 3 no. Sheffield Hoops

Existing parking bays to be retained & demarcated

Existing 3 no. parking bays to be relocated & demarcated

Existing disabled parking bay to be demarcated

Blue dash denotes extent of 'Criblock' system retaining wall

Existing stone wall retained

Existing stone wall retained

Existing stone wall

PO1	Initial Issue	08.09.25	SB	RJB
Rev	Description	Date	By	Chk

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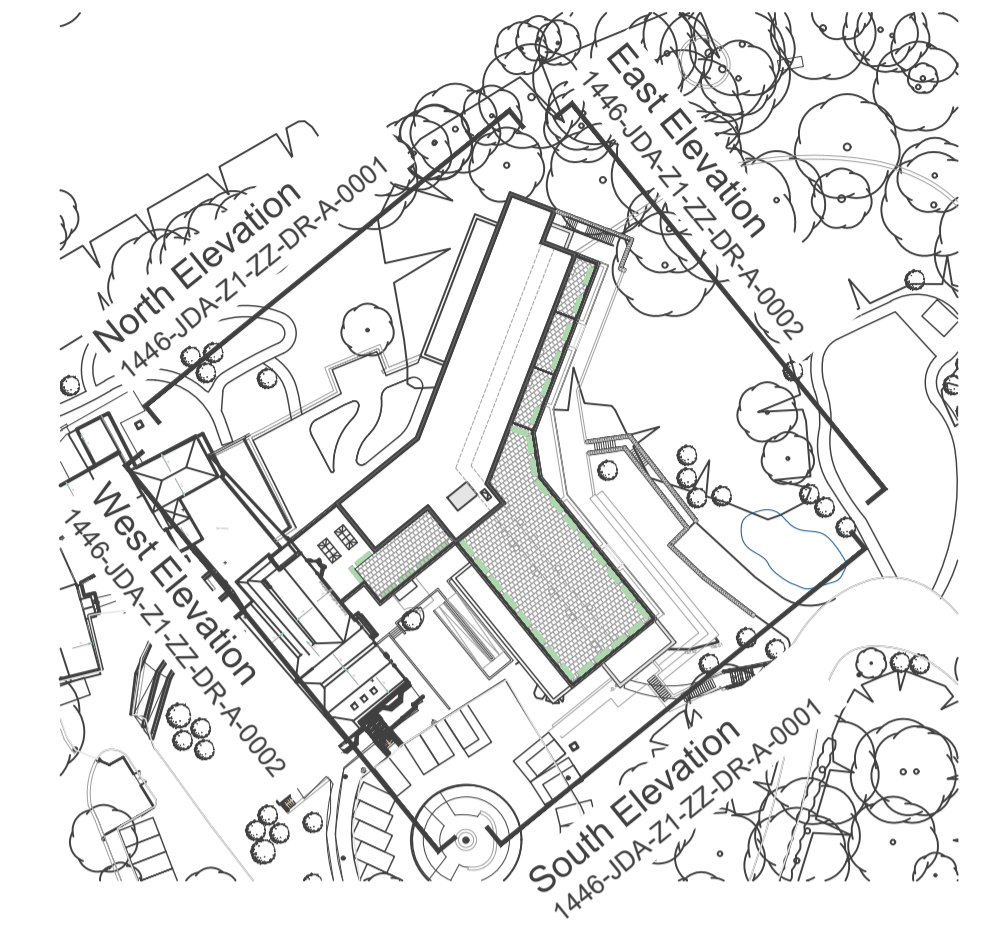
Project Details

Project Name: Lavender Hills (Porritt Care Village)	
Client: Millennium Care	
RIBA Workstage: Stage 3 Planning	Status/Suitability Code: S3
Scale: 1:500	Drawn By: RJB
Original Size: A1	Checked By:
Date: July 25	

Project Code	Originator	Vol/Iss	Level	Type	Size	Number
1446-JDA-XX-XX-DR-A-0002						
Description: Proposed Site Plan						Rev
						PO1

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Key Plan

Proposed North Elevation



Proposed South Elevation

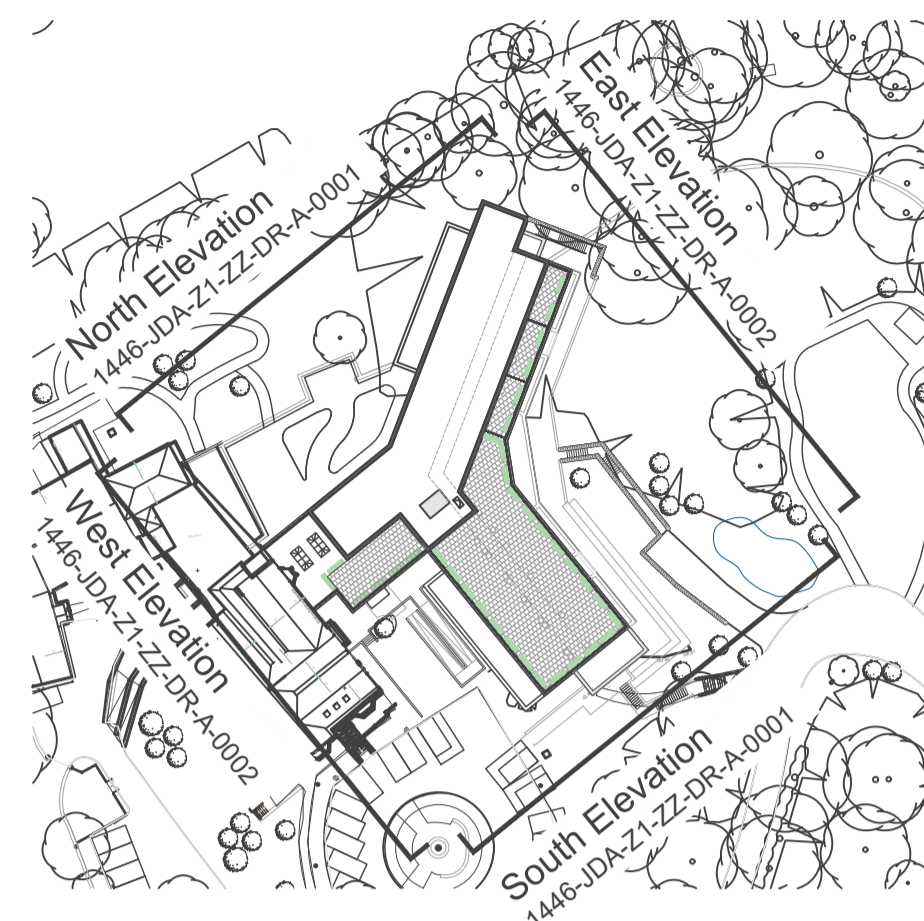
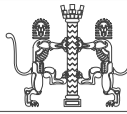
P02	Material Notes updated	08.10.25	ABH	RJB
P01	Initial Issue	02.09.25	SB	RJB
Rev	Description	Date	By	Chk

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Project Details		Lavender Hills (Porritt Care Village)	
Client		Millennium Care	
RIBA Workstage	Stage 3 Planning	Status/Suitability Code	S3
Scale	@ Original Size	Date	July 2025
1:100	A1	Drawn By	ABH
		Checked By	RJB
Project Code	Originator	Vol/Iss	Level
1446-JDA-Z1-ZZ-DR-A-0001			
Description	Proposed Elevations Sheet 1		
Rev	P02		

Notes

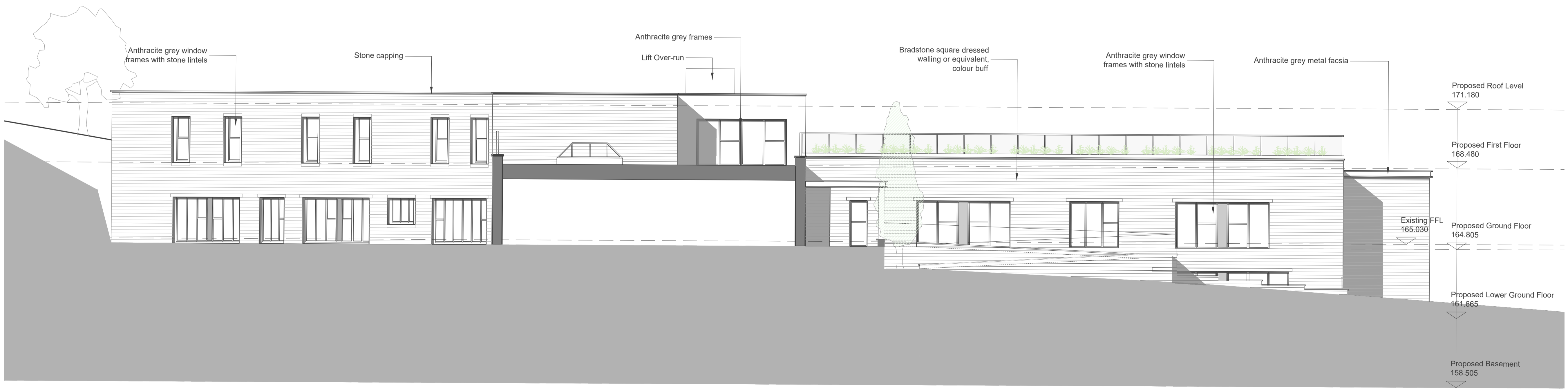
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Key Plan



Proposed East Elevation



Proposed West Elevation

P02	Material Notes updated	08.10.25	ABH	RJB
P01	Initial Issue	02.09.25	SB	RJB
Rev	Description	Date	By	Chk

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Project Details		Lavender Hills (Porritt Care Village)	
Client		Millennium Care	
RIBA Workstage	Stage 3 Planning	Status/Suitability Code	S3
Scale	1:100	Drawn By	ABH
Original Size	A1	Checked By	RJB
Date	July 2025		
Project Code	1446-JDA-Z1-ZZ-DR-A-0002	Rev	
Description	Proposed Elevations Sheet 2	Rev	P02



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