

**Welcome to  
Rossendale Borough Council's  
Development Control Committee  
Date 19<sup>th</sup> May 2026**



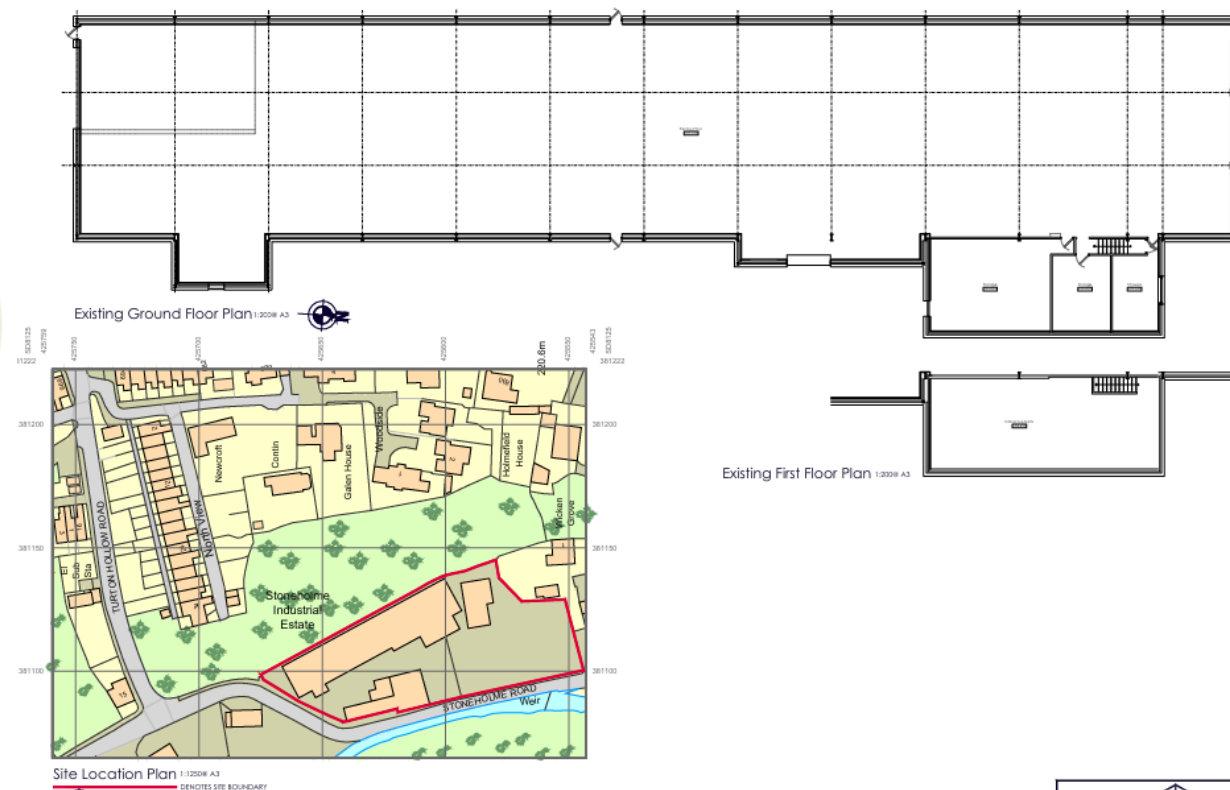
**ROSSENDALE  
BOROUGH  
COUNCIL**

## **Item B1**

**2026/0070 – Former James Killelea & Co Ltd  
Stoneholme Road Crawshawbooth BB4 8BA**

Change of use of an existing industrial building to an indoor leisure and social facility

# Existing Floor Plans & Site Location Plan



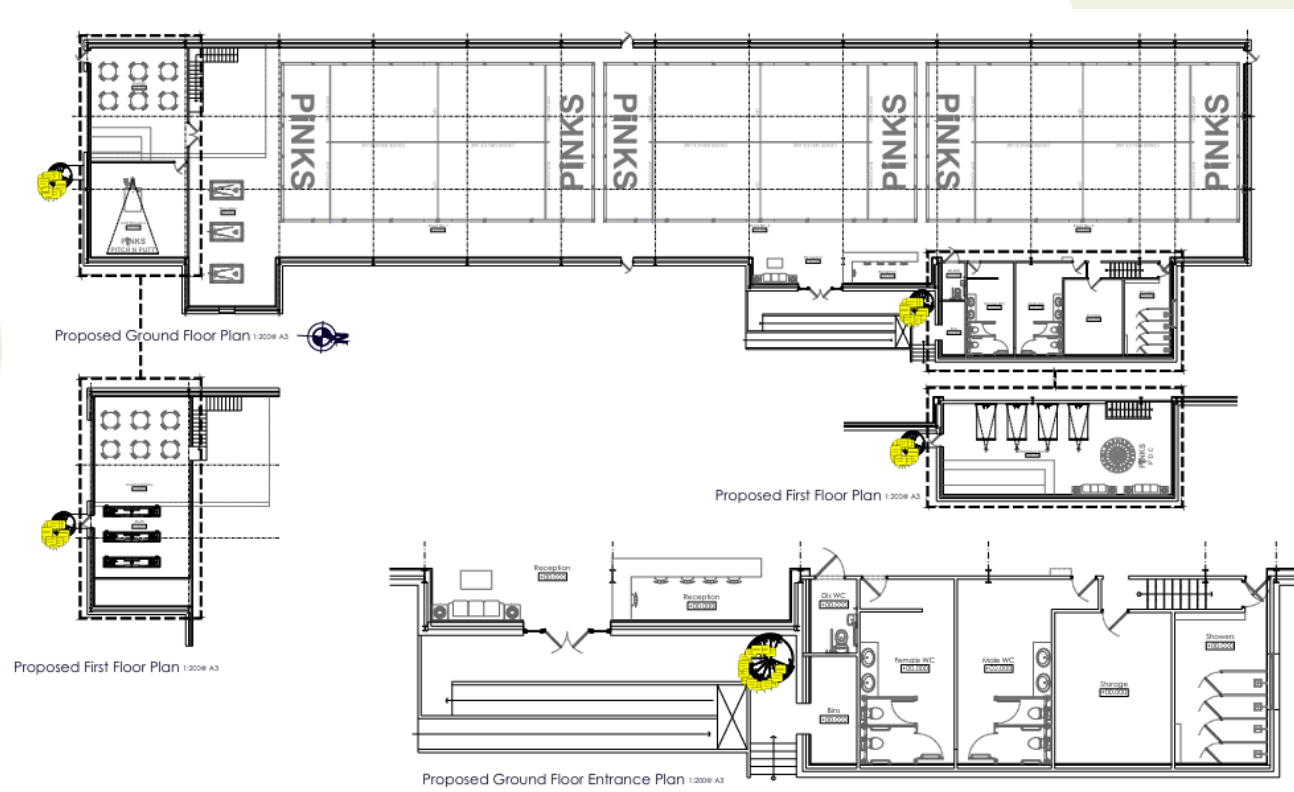
|  |   |
|--|---|
| Project: Proposed Change of Use to James Killelea Unit, Stoneholme Road, Rossendale, BB4 8BA | Dwg Title: Existing Floor Plans & Site Location Plan  |
| Client: Mr Matthew Hayes   | Status: PLANNING PERMISSION                           |
| Dwg #: S01   | Revision: /   Dwg Date: 09.02.2026   Scale: 1:200@ A3 |



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# Proposed Ground & First Floor Plan



|  |   |
|--|---|
| Project: Proposed Change of Use to James Killelea Unit, Staneholme Road, Rossendale, BB4 8BA | Dwg Title: Proposed Ground & First Floor Plan         |
| Client: Mr Matthew Hayes   | Status: PLANNING PERMISSION                           |
| Dwg #: SK01  | Revision: /   Dwg Date: 09.02.2026   Scale: 1:200@ A3 |

**dms simple**

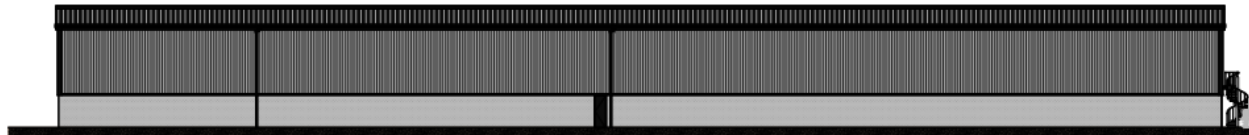
This drawing is the property of James Killelea Unit and shall not be reproduced or used by any person without the written consent of James Killelea Unit. Consultation with the architect is required for any proposed changes to the drawing. The architect shall not be responsible for any errors or omissions in this drawing. The architect shall not be responsible for any errors or omissions in this drawing. The architect shall not be responsible for any errors or omissions in this drawing.



# Proposed Elevations & Block Plan



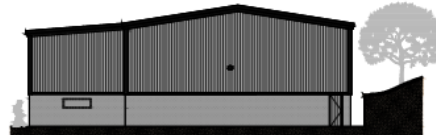
South Elevation | 1:200 @ A3



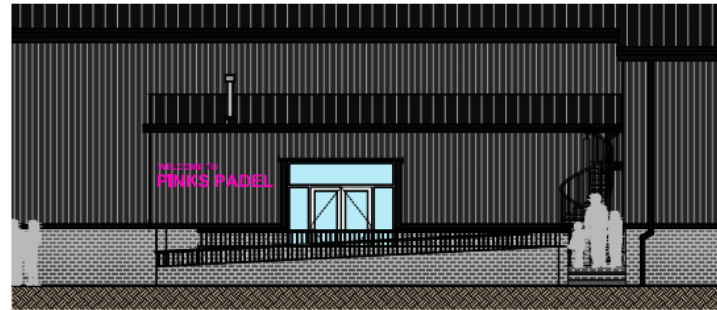
North Elevation | 1:200 @ A3



West Elevation | 1:200 @ A3



East Elevation | 1:200 @ A3



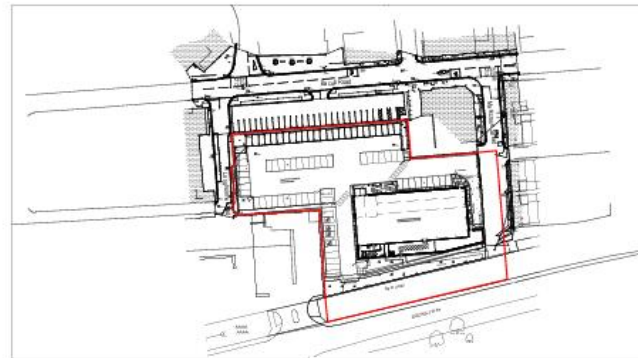
|  |  |   |   |
|--|--|---|---|
| Project: Proposed Change of Use to James Killelea Unit, Stoneholme Road, Rossendale, BB4 8BA | Dwg Title: Proposed Elevations & Block Plan            | <p><small>The drawings are the property of JMEAD Architectural Consultants Ltd and shall not be reproduced or used by any person without the written consent of JMEAD Architectural Consultants Ltd. Any third party who wishes to use any part of the drawings must obtain the written consent of JMEAD Architectural Consultants Ltd. All drawings are copyright © JMEAD Architectural Consultants Ltd. All rights reserved. JMEAD Architectural Consultants Ltd is a registered company in England and Wales. No. 10302023. Registered office: 103, The Quadrant, Rossendale, Lancashire, BB4 8BA. Tel: 01524 831111. Email: info@jmeadarchitectural.co.uk</small></p> | <p><small>JMEAD ARCHITECTURAL CONSULTANTS LTD<br/>103, The Quadrant, Rossendale, Lancashire, BB4 8BA<br/>Tel: 01524 831111<br/>Email: info@jmeadarchitectural.co.uk</small></p> |
| Client: Mr Matthew Hayes   | Status: PLANNING PERMISSION                            |   |   |
| Dwg #: S02   | Revision: /   Dwg Date: 09.02.2026   Scale: 1:200 @ A3 |   |   |

## **Item B2**

# **2026/0043 – Lidl Bacup Road Rawtenstall Rossendale Lancashire BB4 7NG**

Full planning application for the erection of an ANPR CCTV camera on  
an existing lighting column

# Site Location Plan



0 5 10 20m



Liam GB Ltd

Project:  
Roufemkoll  
Bacup Road  
Drawing No:  
Site Location Plan

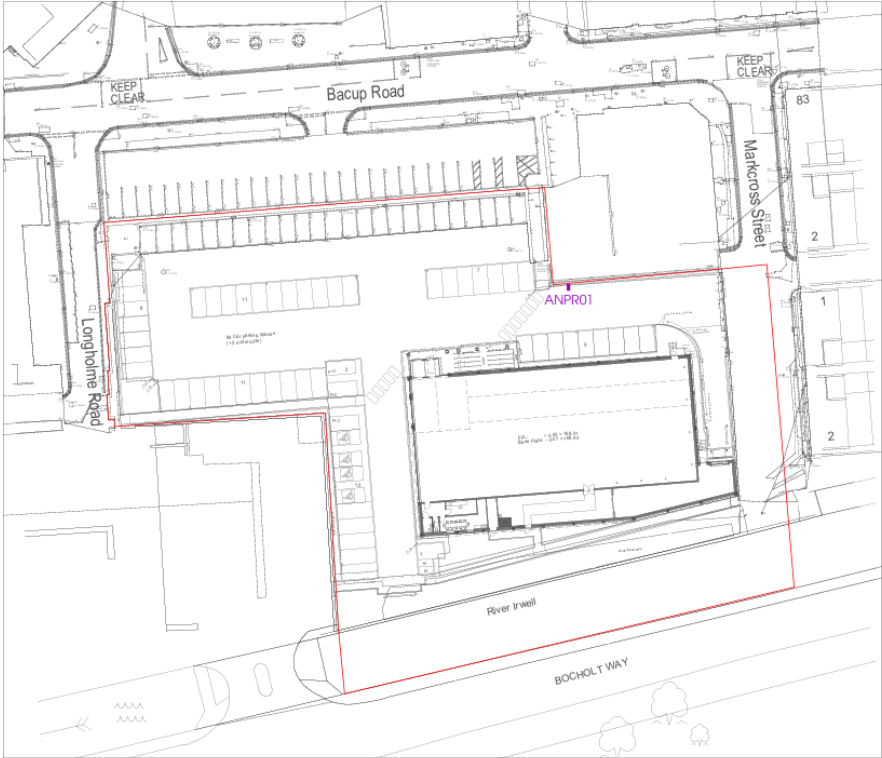
Date: December 2025  
Title: Planning  
Scale: 1:1250 @ A3  
Client: KE - Wetherill MH  
Job No: 2832 - Reg. No. P401



htcarchitects  
100-102, The Quadrant  
Bacup, Lancashire  
OL13 9JL  
Tel: 01525 434343  
Email: info@htcarchitects.co.uk



# Proposed ANPR Site Plan



| CAMERA  | LOCATION                                   |
|---------|--|
| ANPR 01 | CAMERA MOUNTED ON EXISTING LIGHTING COLUMN |

SITE PLAN - LOCATION OF ANPR  
SCALE 1:250

|  |  |   |  |  |
|--|--|---|--|--|
|  <p>THIS PLAN IS THE PROPERTY OF HTA ARCHITECTS AND SHOULD NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HTA ARCHITECTS.</p> |  <p>client<br/>LGI GB Ltd</p> | <p>project<br/>Rowfenstat,<br/>Bacup Road<br/>including the<br/>Proposed ANPR Site Plan</p> | <p>date December 2025<br/>stage Planning<br/>scale 1:250 @ A1<br/>drawn KE checked MH<br/>job no. 2832 dsg no. P403 rev.</p> |  <p>htcarchitects</p> |
|--|--|---|--|--|

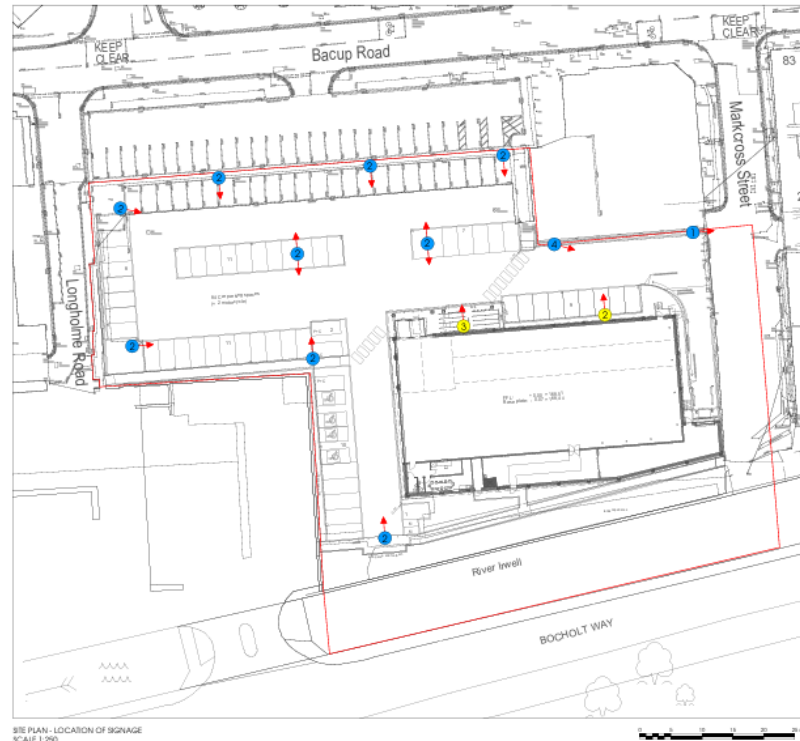
## **Item B3**

**2026/0044 – Lidl Bacup Road Rawtenstall Rossendale  
Lancashire BB4 7NG**

Advert consent for the installation of Entrance sign x1; terms and conditions sign x9; information signage x1; and new rules apply sign x1 (non-illuminated).



# Proposed Parking Signs and Details



SITE PLAN - LOCATION OF SIGNAGE  
SCALE 1:250



project  
Rawlstat,  
Bacup Road  
covering the  
Proposed Parking Signs Plan  
and Details

date  
December 2025  
stage  
Planning  
scale  
1:250 / S @ A1  
drawn  
KE checked  
MH  
job no  
2832 sheet no  
P404



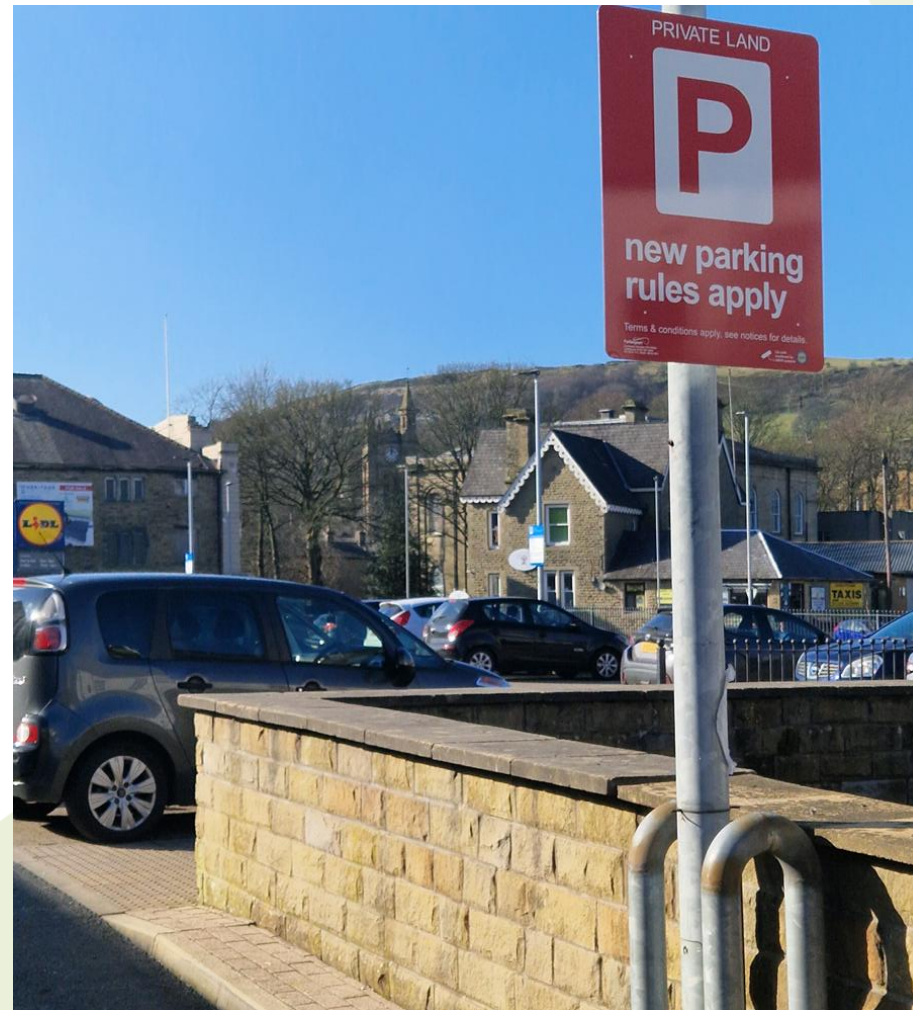
# Photograph



# Photograph



# Photograph

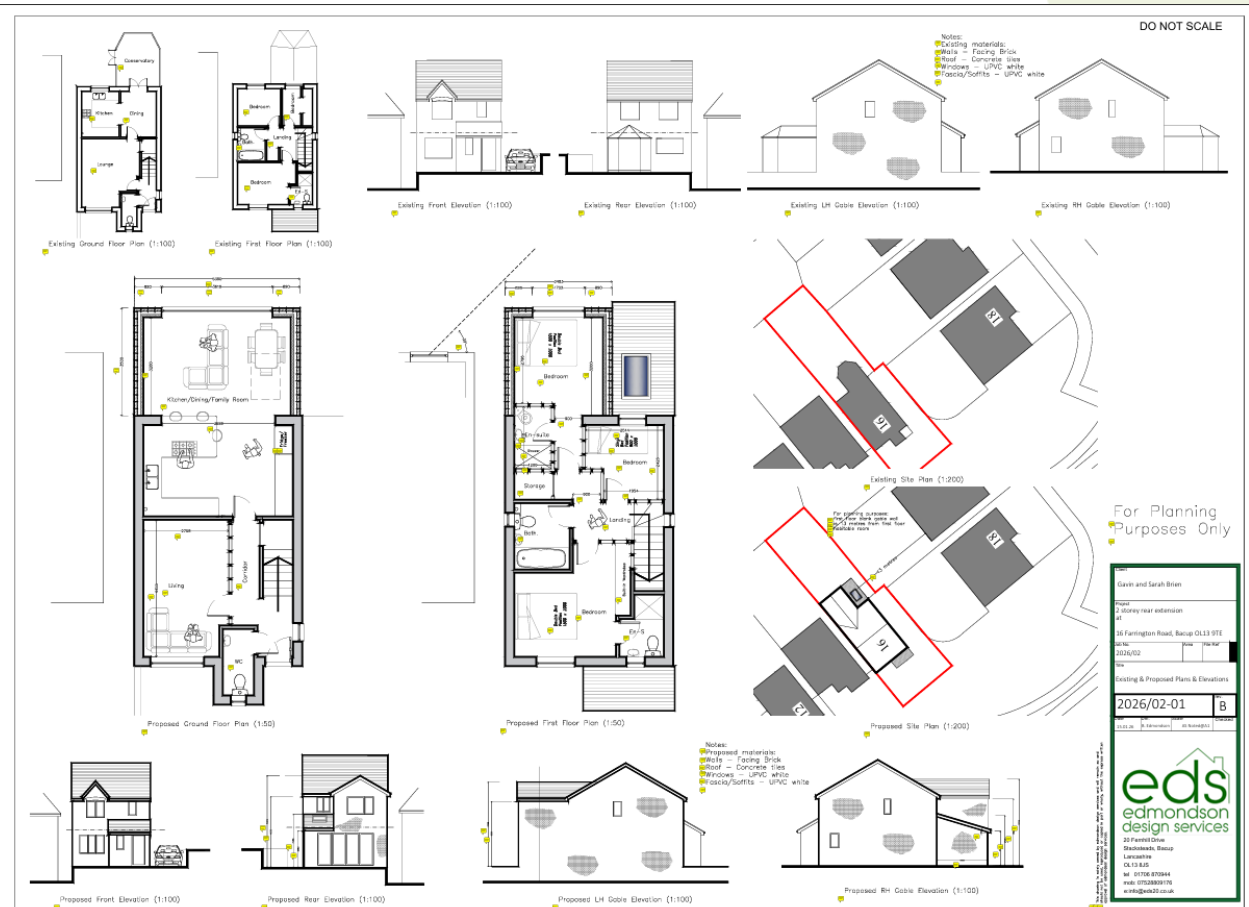


## **Item B4**

**2026/0047 – 16 Farrington Road Bacup OL13 9TE**

Householder: Part two-storey part single-storey rear extension.

# Existing & Proposed Plans & Elevations



# Photograph



# Photograph



# Photograph



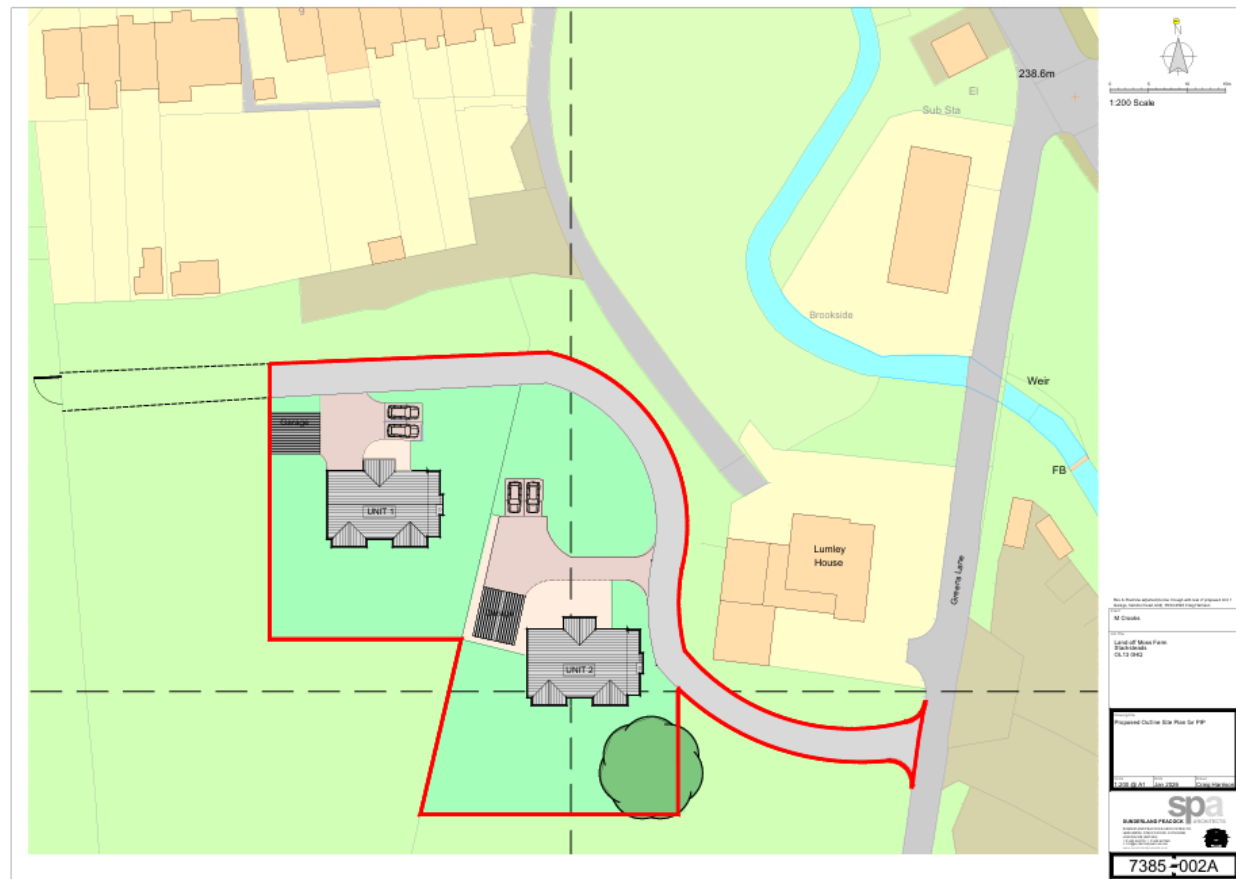
## **Item B5**

**2026/0067 – Land at Moss Farm, Greens Lane,  
Stacksteads, Bacup, OL13 0HQ**

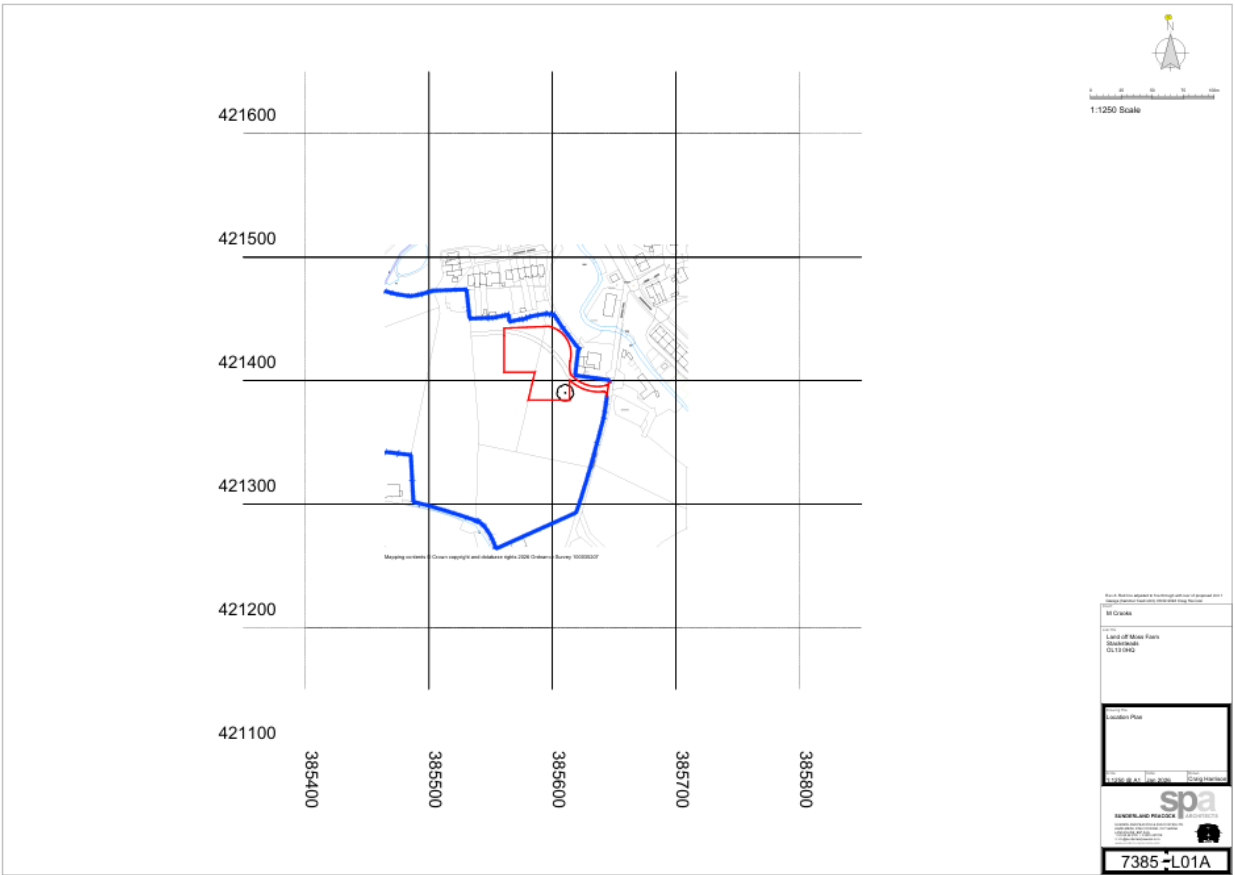
Permission in Principle: Erection of 2 no. dwellings



# Indicative Proposed Site Plan



# Location Plan



# Photograph



# Photograph



## **Item B6**

**2025/0420 – 11 Healey Hall Farm, Shawclough Road,  
Whitworth, OL12 7HA**

Full: Alterations to the front roof slope to provide 5nr velux sun tunnels and 1nr velux roof light. Alterations to the rear roof slope to provide 4nr velux roof lights together with a bank of solar PV roof panels. Roof tiles to be stripped and roof recovered using artificial interlocking roof slates

# Location Plan

Flat 11 Healey Hall Farm Whitworth OL12 7HA

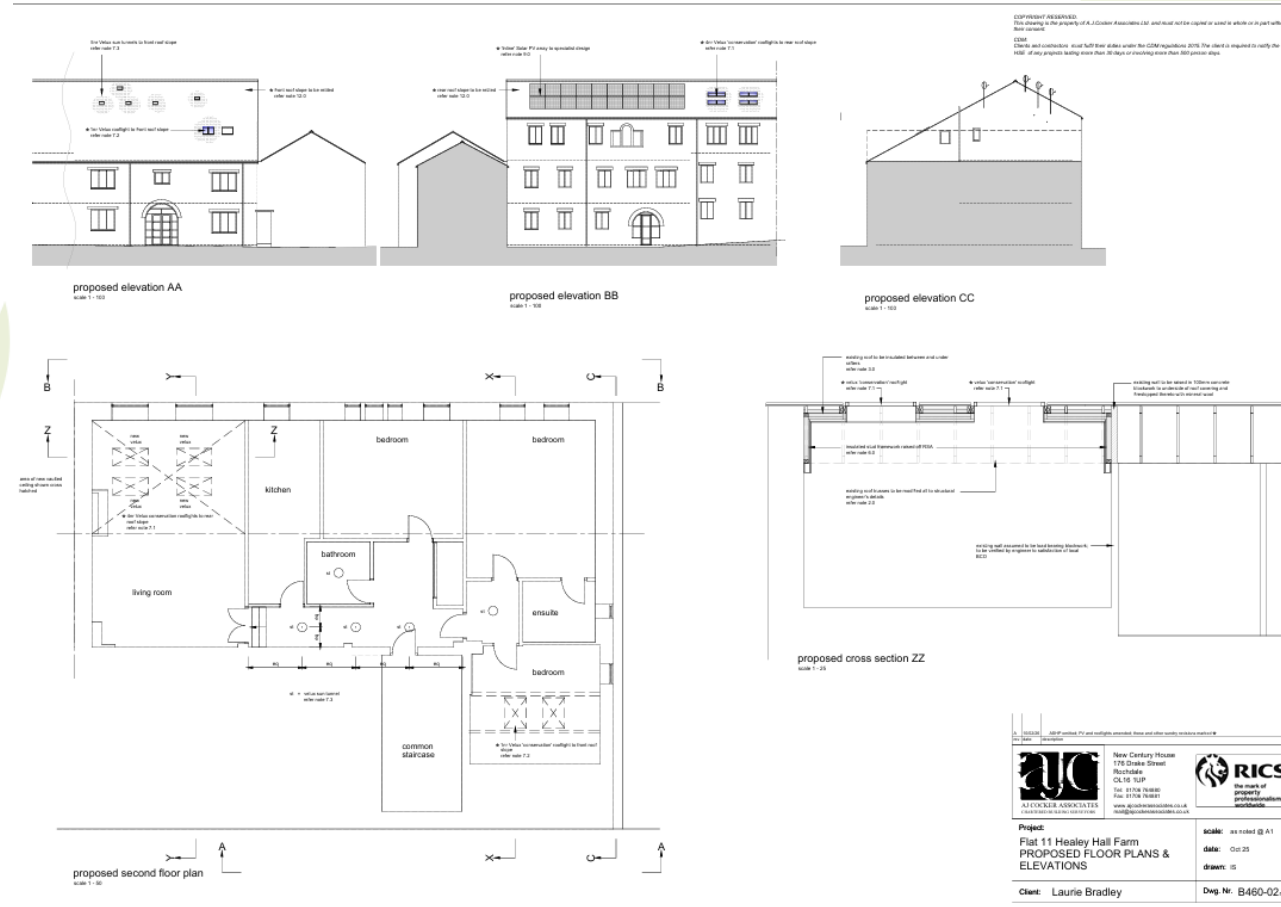


LOCATION PLAN  
scale 1 - 1250

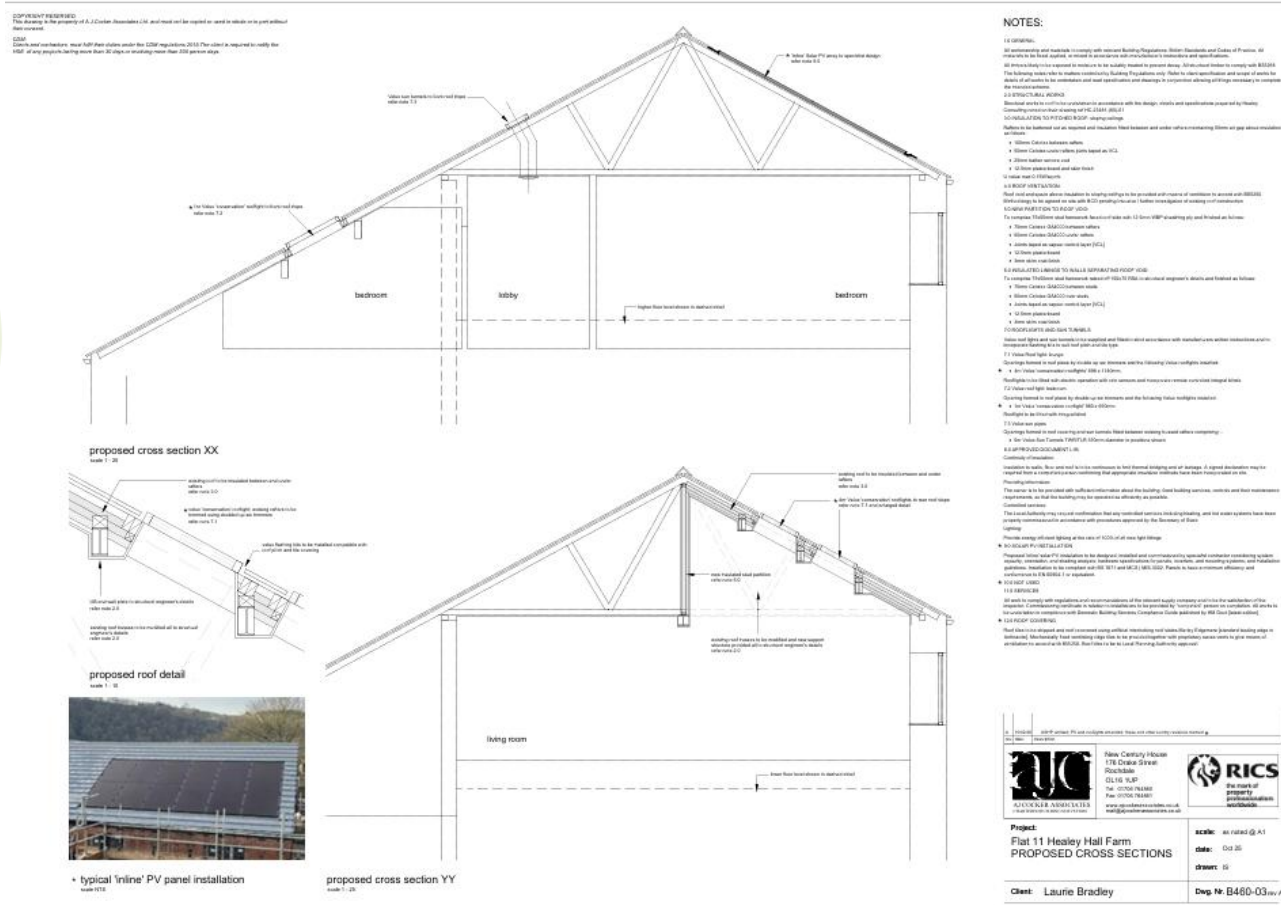
aj cocker associates  
t. 01708 764 880  
w. [ajcockerassociates.co.uk](http://ajcockerassociates.co.uk)



date: October 2025  
scale: as noted@A4  
dwg. nr: B460-04

# Proposed Floor Plans & Elevations



# Proposed Cross Sections



|  |  |   |
|--|--|---|
|  <b>A.J. Cullen Associates Ltd.</b><br>178 Drake Street<br>Rochdale<br>OL16 5AP<br>Tel: 01706 764800<br>Fax: 01706 764801<br><a href="http://www.ajcassociates.co.uk">www.ajcassociates.co.uk</a><br><a href="mailto:info@ajcassociates.co.uk">info@ajcassociates.co.uk</a> |  |  <b>RICS</b><br>The Royal Institution of Chartered Surveyors |
| <b>Project:</b> Flat 11 Healey Hall Farm<br><b>PROPOSED CROSS SECTIONS</b>   |  | <b>Scale:</b> as noted @ A1<br><b>Date:</b> 04/23<br><b>Drawn:</b> GJ   |
| <b>Client:</b> Laurie Bradley  |  | <b>Dep. No.:</b> B460-03 rev A  |

# Photograph



# Photograph



# Photograph



## **Item B7**

**2026/0036 – Unit 21 Three Point Business Park Charles  
Lane Haslingden Rossendale Lancashire BB4 5EH**

Full: Addition of extraction vent to the roof of the unit

# Location Plan

## Location Plan

Site Address: Ark French, Unit 21, Three Point Business Park, Charles Lane, Haslingden, Rossendale, BB4 5EH



Date Produced: 06-Feb-2026

Scale: 1:1250 @A4



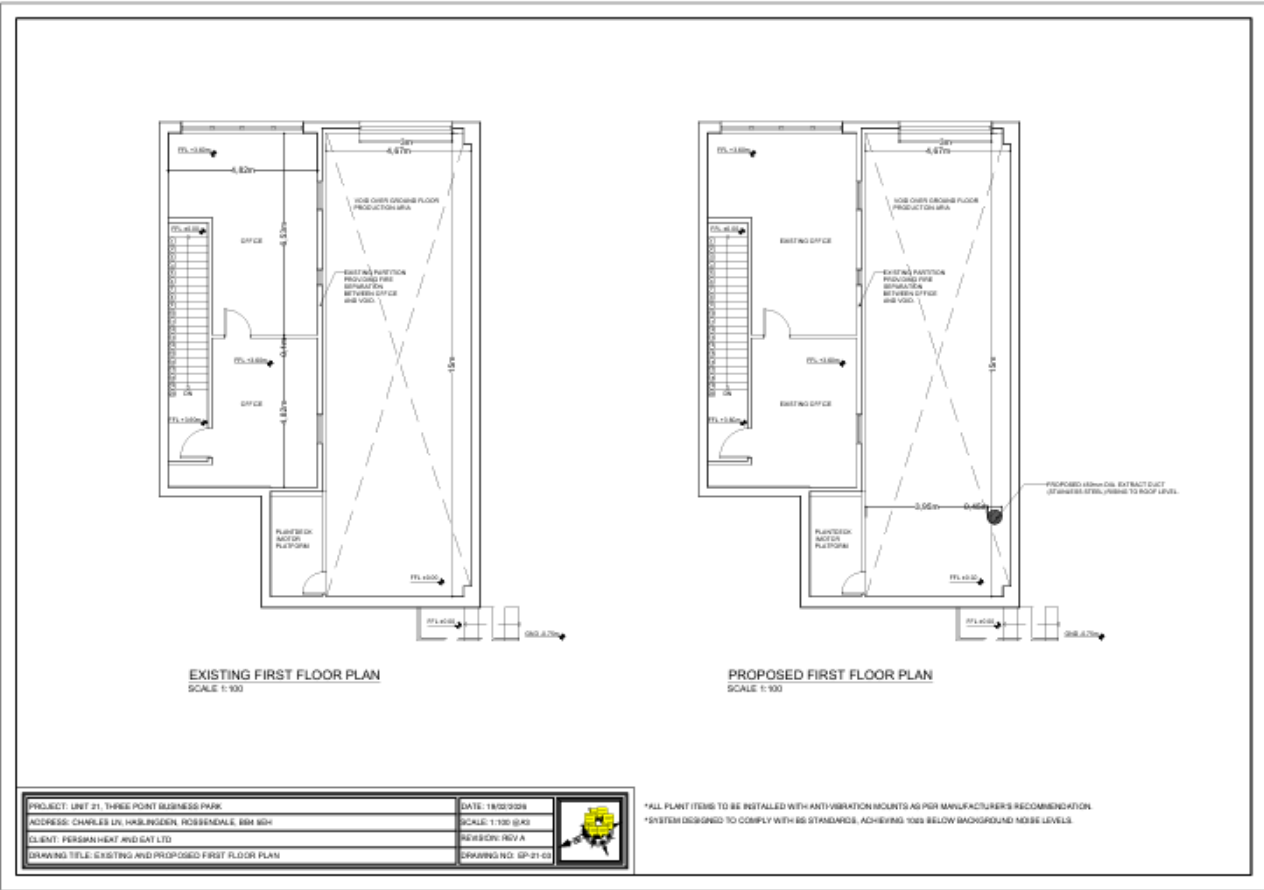
Planning Portal Reference: PP-14681680v1



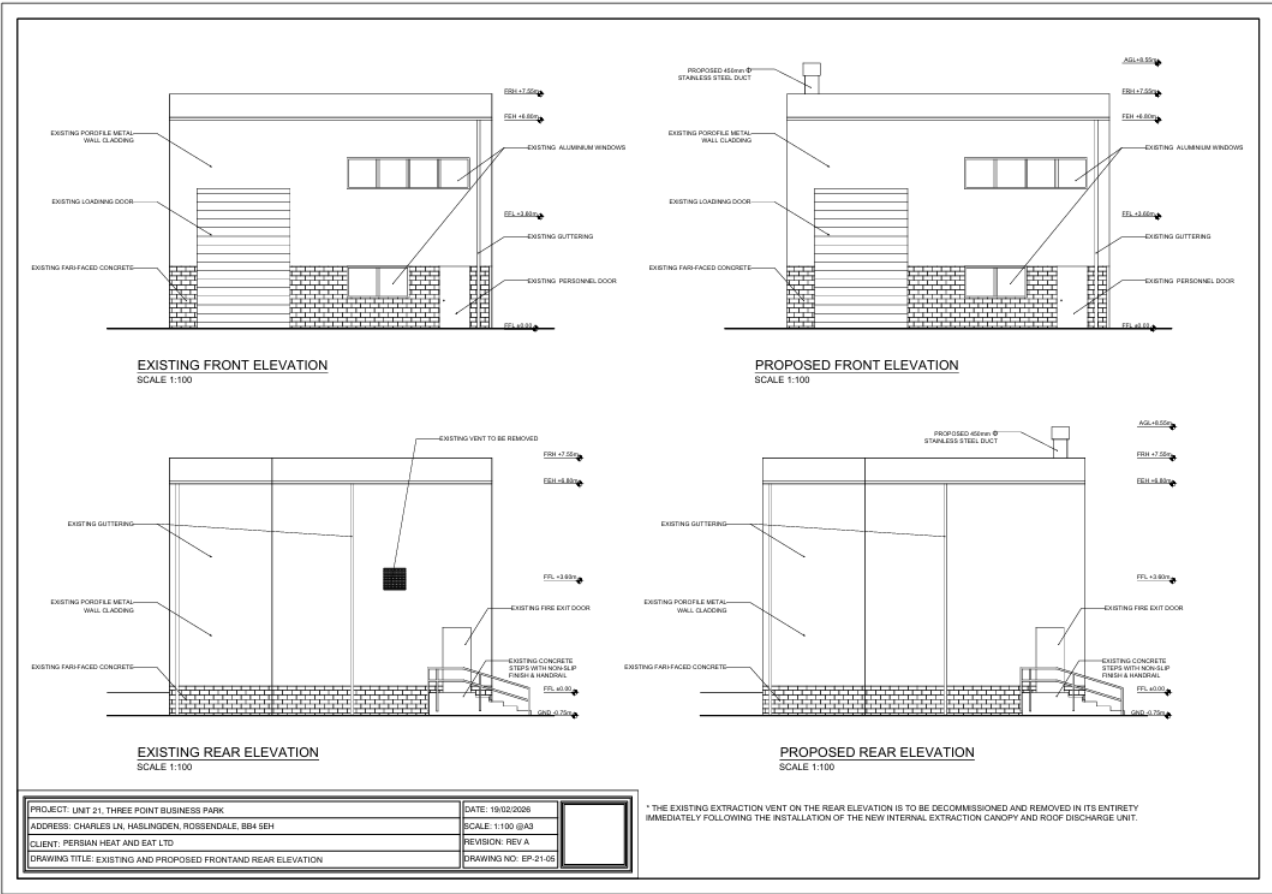
© Crown copyright and database rights 2024. OS 100042760



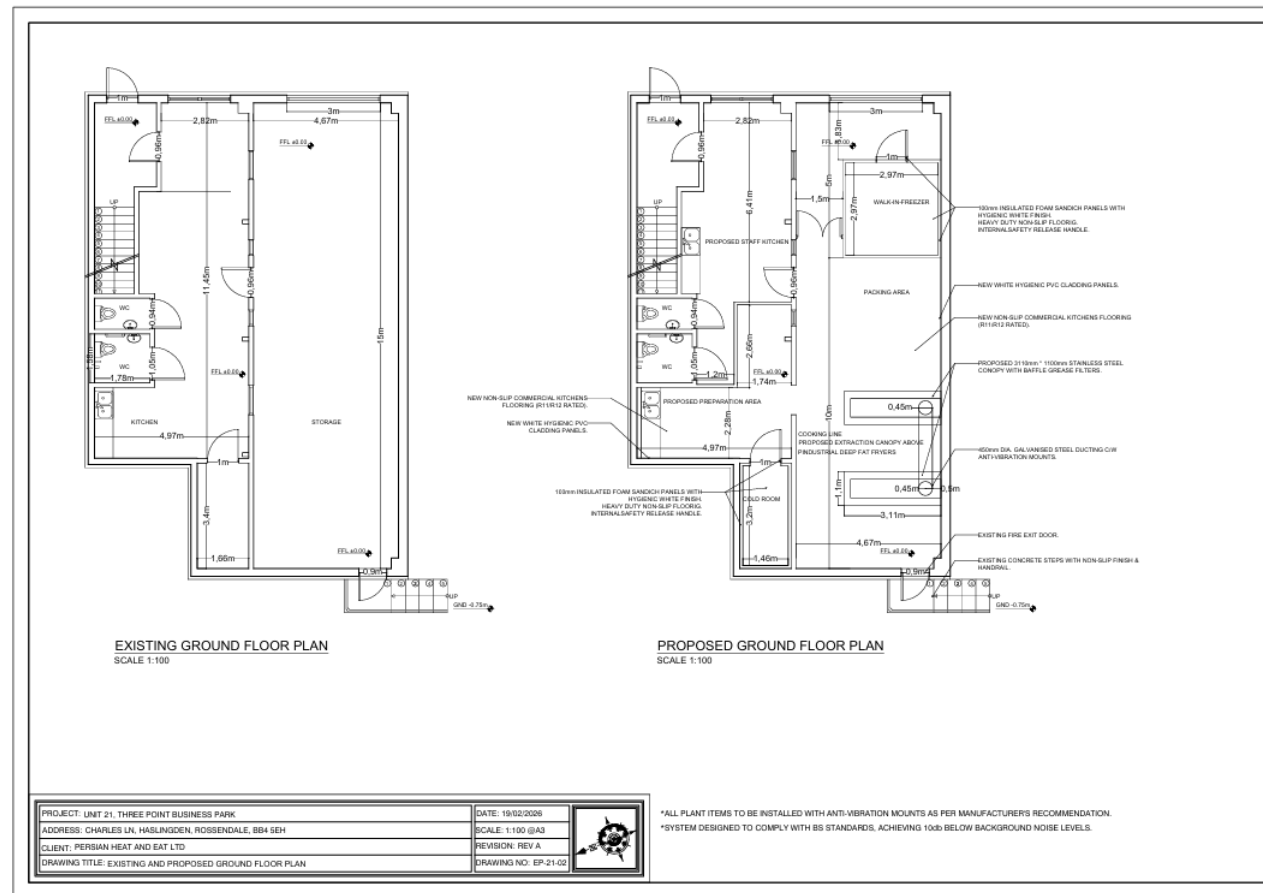
# Existing & Proposed First Floor Plan



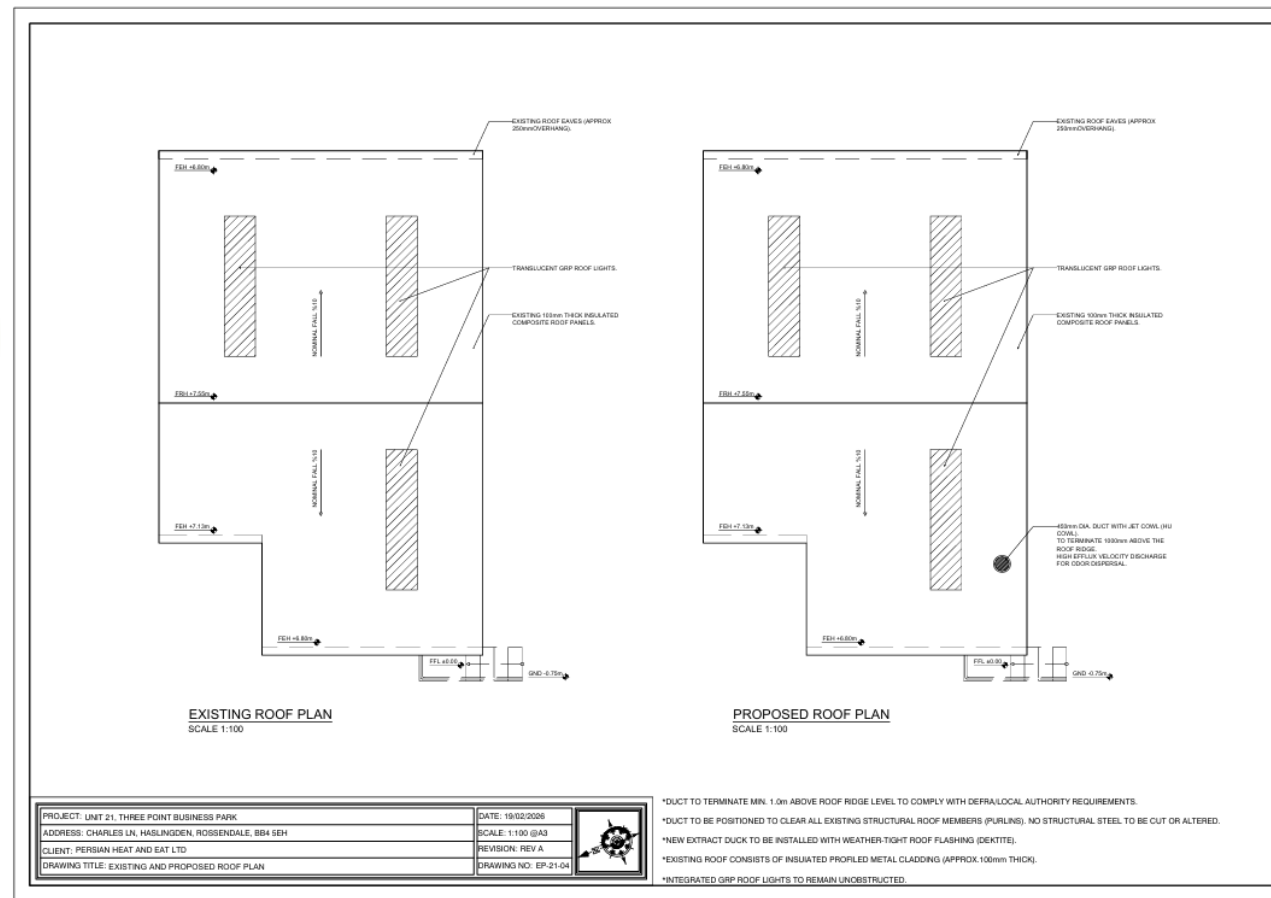
# Existing & Proposed Front & Rear Elevation



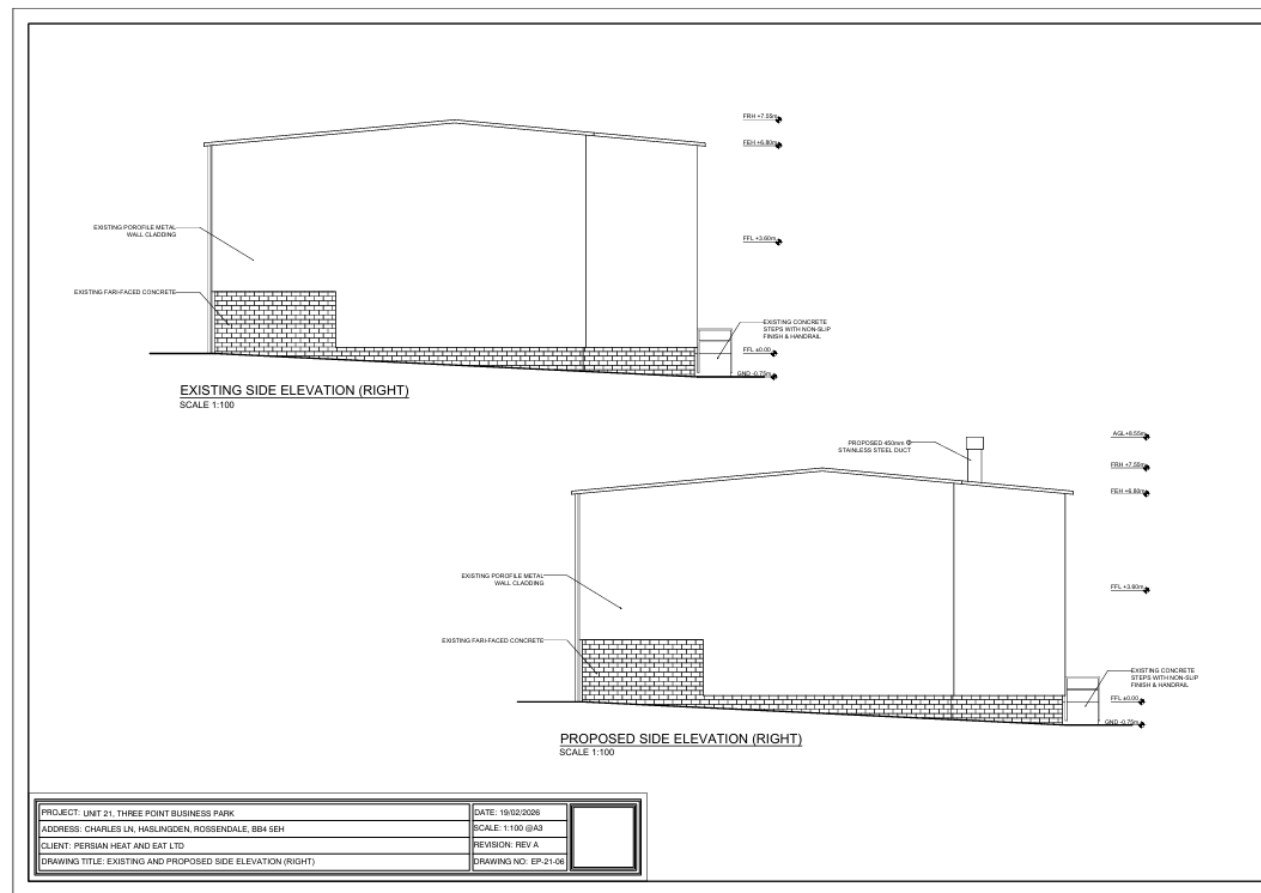
# Existing & Proposed Ground Floor Plan



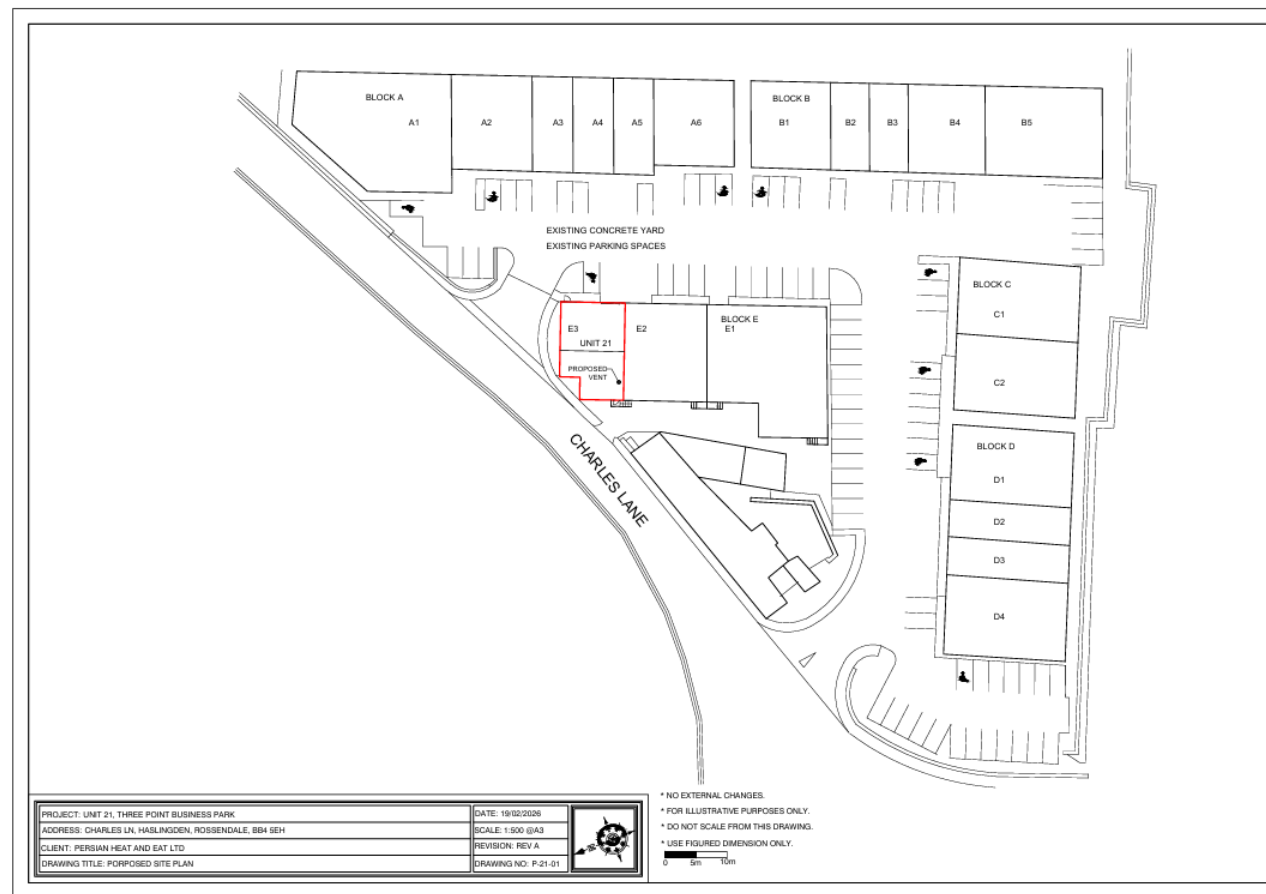
# Existing & Proposed Roof Plan



# Existing & Proposed Side Elevation (Right)



# Proposed Site Plan



# Photograph



# Photograph

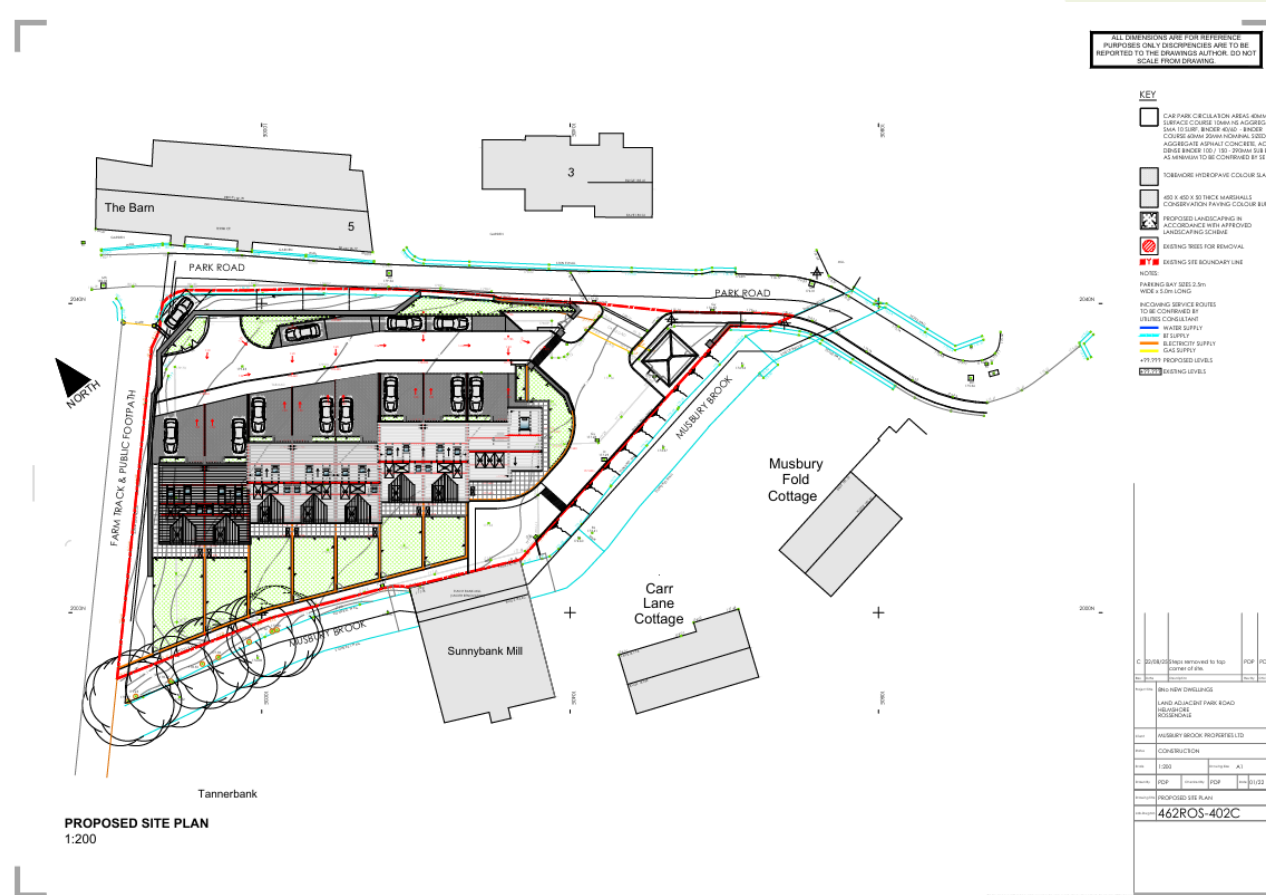


## **Item B8**

### **2026/0008 – Former Car Park, Park Road, Helmshore**

Variation of Condition 2 (Approved plans and documents)  
pursuant to Planning Approval 2023/0527.

# Proposed Site Plan



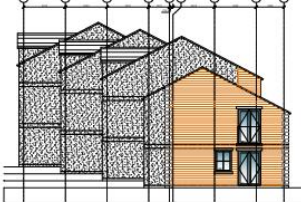
# Proposed Elevations



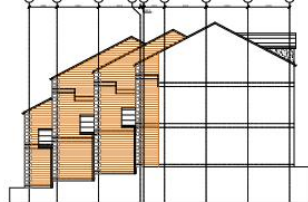
PROPOSED FRONT ELEVATION  
1:100



PROPOSED REAR ELEVATION  
1:100



PROPOSED GABLE ELEVATION  
1:100



PROPOSED GABLE ELEVATION  
1:100

ALL DIMENSIONS ARE FOR REFERENCE  
PURPOSES ONLY. DISCREPANCIES ARE TO BE  
REPORTED TO THE DRAWINGS AUTHOR. DO NOT  
SCALE FROM DRAWING.

**MATERIALS KEY**

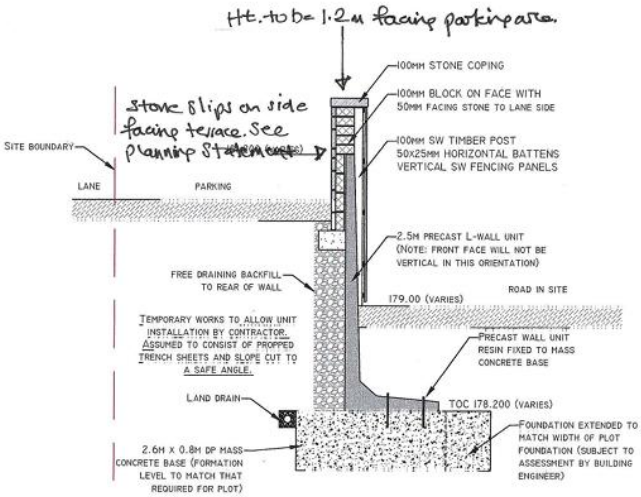
|                |                     |
|----------------|---------------------|
| [Color swatch] | Light grey concrete |
| [Color swatch] | Light brown brick   |
| [Color swatch] | Dark grey brick     |
| [Color swatch] | Dark grey brick     |
| [Color swatch] | Dark grey brick     |

|   |       |       |       |       |       |
|---|-------|-------|-------|-------|-------|
| C | 10000 | 10000 | 10000 | 10000 | 10000 |
| B | 10000 | 10000 | 10000 | 10000 | 10000 |
| A | 10000 | 10000 | 10000 | 10000 | 10000 |

**cadence**  
Architectural & Engineering  
100 ROS 309 C

# Cross Section

PARK ROAD, HELMSTOCK. APPLICATION VARY A CONDITION APPROVED UNDER REF 2023/0527



CROSS SECTION TO SHOW TREATMENT OF WALL FACING TERRACE DUGS ON PARK ROAD.  
REF: 19-05-39 J.2

# Photograph



# Photograph

