

Application Number:	2026/0034	Application Type:	Householder
Proposal:	Householder: First floor extension to side elevation over existing ground floor.	Location:	2 Eagley Bank, Shawforth, OL12 8HE
Report of:	Head of Planning and Building Control	Status:	For publication
Report to:	Development Control Committee	Date:	06/10/2026
Applicant:	Mr Neil Orrell	Determination Expiry Date:	12/08/2026 (Extension of time agreed until 09/10/2026)
Agent:	Mr Andrew Walker – J C Building Design LTD.		

Contact Officer:	Harry Turner
Email:	harryturner@rossendalebc.gov.uk

REASON FOR REPORTING	
Outside Officer Scheme of Delegation	No.
Member Call-In Name of Member: Reason for Call-In:	No
3 or more objections received	Yes
Other (please state):	No

HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights:

Article 8

The right to respect for private and family life, home and correspondence.

Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

1. RECOMMENDATION

Grant planning permission subject to conditions.

2. SITE

2 Eagley Bank is a two-storey dwelling constructed in coursed natural stone beneath a slate roof, with white uPVC windows and doors. The property forms one end of a group of six attached properties at Eagley Bank, Shawforth, a short distance to the south of Market Street (A671). No. 1 and 1a Eagley Bank adjoin the application property to the west. The row was not originally constructed as a terrace and has developed incrementally over time, with the properties becoming attached to one another as successive additions were made.

To the rear of the property there is a small garden, together with a small courtyard between the dwelling and No.1/No.1a Eagley Bank.

The row is served by Knott Hill Street, a private, unadopted access lane which runs along the front elevations of the properties and is taken from Market Street. Parking is informal and takes place on the frontages of the properties and along the lane. A watercourse runs immediately to the north of the lane.

The site lies within the urban boundary.

3. RELEVANT PLANNING HISTORY

2026/0132 – First floor extension to side elevation over existing ground floor. (Withdrawn).

4. PROPOSAL

Planning permission is sought to construct a first-floor extension to the side elevation of the dwelling, above the existing single storey ground floor element.

The extension would be positioned above the existing single storey element on the west side of the dwelling, adjacent to No. 1 Eagley Bank. It would extend above the existing footprint of the single-storey element of the host dwelling, flush with both the front and rear walls to effectively extend the existing gable out by 3275mm.

Materials would match the host dwelling, comprising coursed stone to the front and rear elevations, brickwork to the side elevation, a natural slate roof, and uPVC windows and doors finished in black.

5. POLICY CONTEXT

National

National Planning Policy Framework (August 2026)

Chapter 4 Policy S3 Presumption in Favour of Sustainable Development

Chapter 4 Policy S4 Principle of Development Within Settlements

Chapter 14 Policy DP3 Key Principles for Well-Designed Places

Chapter 17 Policy P3 Living conditions and pollution

Chapter 15 Policy TR6 Assessing transport impacts

Development Plan Policies

Rossendale Local Plan 2019 to 2036

Policy SD1 Presumption in Favour of Sustainable Development

Policy SD2 Urban Boundary and Green Belt

Policy HS9 House Extensions

Policy ENV1 High Quality Development in the Borough

Policy TR4 Parking

Other Material Planning Considerations

RBC Alterations and Extensions to Residential Properties SPD 2026

Planning Practice Guidance

6. CONSULTATION RESPONSES

Consultee	Summary of Comments received
LCC Highways	No objections.

7. REPRESENTATIONS

The application was advertised in this instance by sending individual letters to the surrounding properties. Following revised plans, letters were sent out for re-consultation on 14/08/2026. A site notice was also originally posted on 19 June 2026 with 21 days to comment.

5 objections were received following the initial consultation with no further objections raised following re-consultation. The key comments are summarised below:

- Overdevelopment of the plot. The dwelling would be much larger than its neighbours and out of keeping with the scale and character of Eagley Bank. No need has been shown for the extra accommodation.
- Overbearing and dominant given the increased height and scale. Greater sense of enclosure and loss of outlook from neighbouring properties and gardens.
- Loss of light to a neighbouring kitchen extension, courtyard and garden. Reference made to the BRE guidelines.
- Overlooking and loss of privacy into a neighbouring courtyard and garden.
- More bedrooms means more cars. Parking within the terrace is already limited and the lane is narrow, unadopted and in poor condition. Additional traffic would worsen the surface and make access harder for residents, emergency services and deliveries.
- The extension would be built on land in the freehold ownership of a neighbour, without consent.
- Harm to the historic character of properties dating from 1869.
- The gabion baskets and hardstanding on the frontage, and the works to the bank of the watercourse, are said to be unauthorised. Concerns raised about flood risk, bank stability, wildlife and the loss of a mature tree. The existing rear extension is also said to have been built without permission. Request that the planning status of these works and the cumulative scale of development be taken into account.

- The use of the property may change in future.
- Personal circumstances, wellbeing, loss of a view and enjoyment of freehold land.

A written response to the objections has been submitted on behalf of the applicant. It confirms that the gabion baskets were formed to provide temporary storage for materials and a single parking space for contractors during refurbishment works, that the tree to the frontage was felled because its roots had encroached beneath the floor of the existing kitchen, and that no car port is proposed. It further confirms that the property was purchased as a three-bedroom dwelling and would remain a three-bedroom dwelling if permission were granted.

8. ASSESSMENT

Principle

The site is located within the Urban Boundary; therefore, the development needs to be considered against policy S4, Chapter 4 of the NPPF.

Paragraph 1 of Policy S4 makes clear that development proposals within settlements should be approved unless the benefits of doing so would be substantially outweighed by any adverse effects, when assessed against the national decision-making policies in this Framework.

In applying Policy S4, the circumstances in which the benefits of approving development are likely to be substantially outweighed by adverse effects include (but are not restricted to) situations where the development proposal would:

- a. Have a substantial adverse impact in relation to:
 - i. The allocation or safeguarding of land or buildings for particular uses in the development plan, unless there is no reasonable prospect of an application coming forward for the allocated use, or there is evidence that the safeguarding is no longer appropriate; or
 - ii. The application of the policies in this Framework for existing recreational land and facilities (HC7), Local Green Space (HC8), areas of particular importance for biodiversity and geodiversity (N6), Protected Landscapes (N4) and development within residential curtilages (L2(1)(d)).
- b. Involve the whole or partial loss of undeveloped land which is used for a cemetery or burial ground; or for water storage and/or flood risk management (unless suitable compensatory provision is made that does not increase the risk of flooding either on or off-site); or
- c. Fail to comply with one of the national decision-making policies which state that development proposals should be refused in specific circumstances.

The development proposed would be considered acceptable in principle subject to complying with policy S4. This will be considered in further detail below.

Visual Amenity

The Framework aims to deliver high quality design. Policy DP3 (Chapter 14) requires development proposals to respond to the context of their site and setting so that they integrate with and enhance their surroundings, and to reflect relevant design principles including Built Form and Identity - creating visually attractive, distinctive development that maintains a coherent sense of place through appropriate use of materials, design features and scale. Substantial weight is given to compliance with relevant development plan policies when assessing the design quality of proposals.

Policy ENV1 (High Quality Development in the Borough) of the Rossendale Local Plan echoes the above national policy, and Policy HS9 (House Extensions) expects extensions to respect the existing house and surrounding buildings in terms of scale, size, design and materials.

The Council's Alterations and Extensions to Residential Properties SPD recommends extensions should complement the original building and should not detract from the character of neighbouring properties or the appearance of the street scene through siting, excessive bulk or inconsistent design.

Concerns have been raised regarding the scale and massing of the proposed development, its relationship to the neighbouring properties within the row, and the effect of the proposal on the character and appearance of Eagley Bank.

The extension would be constructed above the existing single storey element to the side of the dwelling and would in effect extend the existing gable, continuing the ridge, eaves and building lines of the host dwelling to the front and rear.

The original proposal intended to reflect the guidance within the Alterations and Extensions to Residential Properties SPD through the extension having a lower eaves and ridge line than the host dwelling, and a set back at first floor level to the rear of the dwelling, although no set back was proposed to the front elevation. After review, it was considered that the proposed form of the extension would create an awkward visual relationship with the host dwelling and with the wider row, which has developed over time into a terrace. The design was subsequently amended to the form now proposed.

Normally the Council would expect a first-floor extension to be set back to the front of a dwelling to avoid a terracing effect and to ensure an extension remains subservient and clearly secondary to the original dwelling. However, considering the context of the site, namely that all properties at Eagley Bank are attached in some form, and the existing single storey side extension has a front wall exceeding first floor height, it is not considered in this case a setback at first floor level would be necessary to make the development visually acceptable. The row of properties already affords very limited visual gaps between the dwellings, and the existing single storey element, being comparatively tall, does not provide any meaningful visual break or view through the row when seen from Knott Hill Street. Raising the extension to full height would therefore have a limited impact, if any, upon the degree of visual separation between the properties. By continuing the gable, ridge and eaves lines of the host dwelling, the extension would integrate more appropriately with the host dwelling

and with the terrace character which the row has assumed over time than a stepped or set back form would.

The proposed materials would match those of the existing dwelling, comprising coursed natural stone to the front and rear elevations and a slate roof. The side elevation lower walls would consist of brick as is existing, with the upper (visible) walls of natural stone. The doors would be black UPVC compared to the original in white, but this is not considered to result in any harm. These materials are considered acceptable.

Overall, the proposed development is therefore considered to be of an acceptable scale and design and would not result in unacceptable harm to the character or appearance of the host dwelling, neighbouring properties or the surrounding area. The proposal accordingly complies with Policy DP3 (Chapter 14) of the Framework, Policies ENV1 and HS9 of the Rossendale Local Plan, and the Council's Alterations and Extensions to Residential Properties SPD.

Neighbour Amenity

Policy DP3 (Chapter 14) of the Framework expects development to respond to the context of its site and setting so that it integrates with and enhances its surroundings. To create well-designed places, the Framework expects development proposals to reflect the design principles set out under Paragraph 2 of Policy DP3. Of particular note is design principle a. 'liveability', which aims to support healthy and integrated communities that will function well over the lifetime of the development, and a relevant aspect of which can also be understood as the degree to which a place is suitable or good for living in.

Paragraph 3 of Policy DP3 states that development proposals should be refused if, without clear justification, they conflict with Paragraph 1 of Policy DP3 or with relevant aspects of the principles in Paragraph 2, or with any explicit design standards set out in the development plan, including those in locally specific policies, guides, codes or masterplans.

Policy P3 (Chapter 17) of the Framework is also relevant, in that Paragraph 2(b) provides that development proposals should not give rise to, or contribute to, an unacceptable level of access to daylight and sunlight for neighbouring residents and occupiers, with adverse impacts of this nature to be avoided where possible or else mitigated to an acceptable degree.

Policy ENV1 (High Quality Development in the Borough) of the Rossendale Local Plan echoes the above national policy, with criterion (d) specifically requiring that development will not have an unacceptable adverse impact on neighbouring development by virtue of it being overbearing or oppressive, overlooking, or resulting in an unacceptable loss of light. Policy HS9 (House Extensions) and the Council's Alterations and Extensions to Residential Properties SPD 2026 apply the same approach to householder development.

Concerns have been raised regarding the impact of the proposed development on the amenity of neighbouring occupiers, including overbearing impact, loss of light, loss of outlook and loss of privacy. The closest relationship is with No.1 and No.1a Eagley Bank, between which and the application property there is a narrow courtyard.

The courtyard is south facing and benefits from a greater level of direct sunlight through the day than would otherwise be the case. It is already bounded by the tall, enclosing wall of the

existing single storey element, and the additional storey would sit above that wall rather than adding materially to the shadow already cast across the courtyard. The proposal would not therefore result in a loss of light or a materially harmful effect upon the daylight and sunlight received within the courtyard.

In relation to the garden land to the rear of the neighbouring properties, there is limited screening between the gardens at present, and the existing level of privacy afforded to these spaces is minimal. The proposal would not result in a materially greater impact upon the use and enjoyment of the garden land than already exists, nor than would ordinarily be expected between properties within a terrace of this type.

The extension would be constructed above the tall blank elevation which already encloses the courtyard, and would be seen against the backdrop of the existing two storey-built form of the row. The proposal would not therefore result in an unduly dominant, overbearing or oppressive form of development when experienced from the neighbouring properties or from the courtyard.

In terms of privacy, the outlook from the extension would be broadly consistent with that already available from the existing first floor windows within the rear elevation, and no greater level of overlooking would result. The rear amenity spaces and gardens within the row have limited privacy in any event, with no notable boundary treatment or screening between them, and the relationship arising from the proposal would be no different from that ordinarily expected within a terrace or street of this character.

Overall, the proposed development would not result in unacceptable harm to the amenity of neighbouring occupiers. The proposal therefore accords with Policies DP3 (Chapter 14) and P3 (Chapter 17) of the Framework, Policies ENV1 and HS9 of the Rossendale Local Plan, and the Council's Alterations and Extensions to Residential Properties SPD 2026.

Highway Safety and Parking

Policy TR6 (Chapter 15) of the Framework states that development should be refused where it would result in a severe effect on the transport network or an unacceptable impact on highway safety, including cumulative effects. Policy TR4 (Parking) of the Rossendale Local Plan requires development to make appropriate provision for parking having regard to the Council's adopted standards.

Lancashire County Council as Local Highway Authority has been consulted on the application and raises no objection. The Highway Authority confirms that no alterations are proposed to the existing means of access, that existing parking arrangements would remain unaffected, and that the development is not considered likely to result in a material impact on the operation or safety of the local highway network.

The concerns raised regarding parking pressure within the row are noted. However, the parking requirement arising from the development would be unchanged from that of the existing dwelling when assessed against the standards set out within the Local Plan.

The condition of the access lane and its unadopted status are matters raised in representations. The maintenance of a private lane is a civil matter between the parties with an interest in it and is not a material consideration in the determination of this application. No

evidence has been submitted to demonstrate that the development would result in a level of additional vehicle movement capable of causing material harm to the operation of the lane or to the safety of its users.

In view of the above, the proposal is considered to be acceptable in highway safety and parking terms and accords with Policy TR6 (Chapter 15) of the Framework and Policy TR4 (Parking) of the Rossendale Local Plan 2019 to 2036.

Conclusion

The proposal is considered to be acceptable in principle and, considering the context of the site, comprises an appropriately designed and positioned first floor extension to an existing dwelling within the Urban Boundary. The development would respect the form, materials and roofline of the host dwelling and neighbouring properties, and would not result in unacceptable harm to the character or appearance of the area. The development would not result in unacceptable harm to the living conditions of the occupiers of neighbouring properties in terms of overbearing impact, loss of light, loss of outlook or loss of privacy. The development would also not result in an unacceptable impact upon highway safety or upon parking provision within the row.

The proposal is therefore considered to accord with Policies S4, DP3, P3 and TR6 of the National Planning Policy Framework 2026, Policies SD1, SD2, HS9, ENV1 and TR4 of the Council's adopted Rossendale Local Plan 2019 to 2036, and the provisions of the Council's Alterations and Extensions to Residential Properties SPD 2026.

9. RECOMMENDATION

Grant planning permission subject to the following conditions.

10. CONDITIONS

- 1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: Required by Section 51 of the Planning and Compulsory Purchase 2004 Act.

- 2) The development hereby permitted shall be carried out in accordance with the following drawings:

Document / Plan / Drawing Title	Document / Plan / Drawing Reference	Date / Latest Revision Date Recorded or Date Received
Application Form	N/A	02/02/2026
Location Plan, Existing and Proposed Site Plans	JCBD-25-513-8 Rev 00	05/01/2026
Existing Floor Plan, Elevations and Roof Layout	JCBD-25-513-1 Rev 00	05/01/2026
Proposed Floor Plan, Elevations and Roof Layout	JCBD-25-513-2 Rev 04	21/09/2026
Proposed Images	JCBD-25-513-3 Rev 04	21/09/2026

Reason: To define the permission and in the interests of the proper development of the site.

- 3) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any subsequent legislation revoking or superseding that Order, no windows, doors or other openings shall, at any time, be installed within the side elevation of the extension hereby permitted, unless prior written approval has first been obtained from the Local Planning Authority through the granting of planning permission.

Reason: To safeguard the privacy of the occupiers of the adjoining properties in accordance with the requirements of Policies DP3 (Chapter 14) and P3 (Chapter 17) of the National Planning Policy Framework, Policies ENV1 and HS9 of the adopted Rossendale Local Plan 2019 to 2036, and the provisions of the Council's Alterations and Extensions to Residential Properties SPD 2026.

- 4) The front, rear and side elevations of the first-floor extension hereby permitted, above the existing single storey element, shall be constructed in natural stone, and the roof shall be finished in natural slate, both to match the existing dwelling in type, colour and coursing. The development shall be carried out in accordance with these materials and retained as such thereafter.

Reason: In the interests of visual amenity and to ensure that the extension integrates with the host dwelling, in accordance with the requirements of Policy DP3 (Chapter 14) of the National Planning Policy Framework, Policies ENV1 and HS9 of the adopted Rossendale Local Plan 2019 to 2036, and the provisions of the Council's Alterations and Extensions to Residential Properties SPD 2026.

INFORMATIVES

1. The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in the NPPF.

GENERAL NOTES

Front Elevation

Existing elevation coursed stone construction finish, existing windows are white UPVC. Proposed construction coursed stone to match existing. Windows and doors to be white UPVC to match the existing in colour and material.

Gable Elevations (RHS)

Existing lower brick construction, upper elevation coursed stone construction finish, existing windows are white UPVC. Proposed construction coursed stone to match existing. Windows and doors to be white UPVC to match the existing in colour and material.

Rear Elevation

Existing elevation coursed stone construction finish, existing windows are white UPVC. Proposed construction coursed stone to match existing. Windows and doors to be white UPVC to match the existing in colour and material.

Roof

Existing roof has a slate finish. Proposed construction is to have a slate finish to match the existing in colour and material.

CDM REGULATIONS 2015

The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organizing the project).

Domestic clients

The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.

The designer can take on the duties, provided there is a written agreement between you and the designer to do so.

The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:

- (a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project.
Or:
(b) Exceeds 500 person days.

Building Regulations

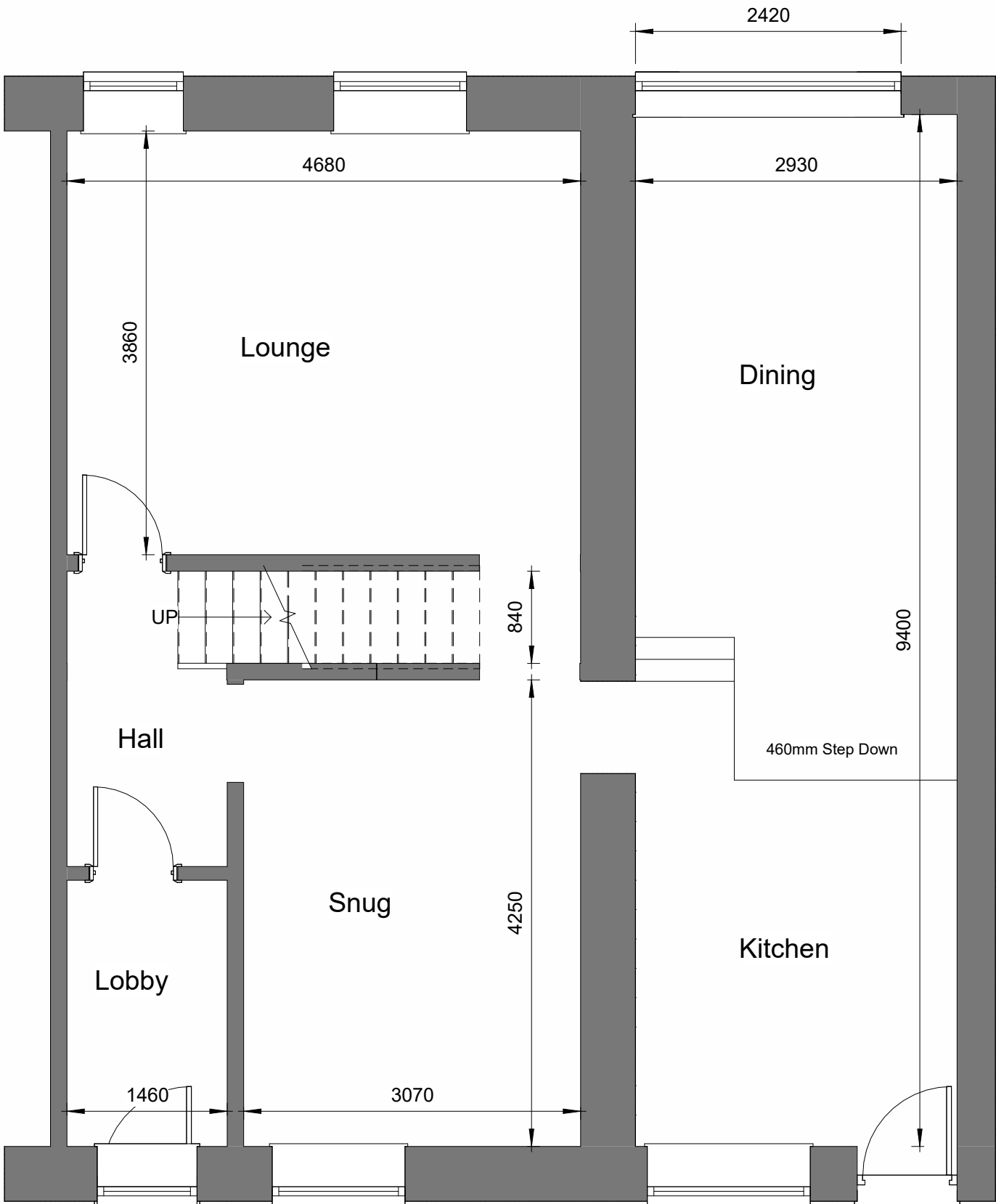
All work is to comply with the relevant Building Regulations and all statutory notices are to be given to the Building Control department at the local authority at the appropriate stages. All contractors are to visit site to acquaint themselves with the layout and access to the site prior to tendering. If an approved inspector is used then the AI must notify the local authority that the building regulations will be carried out under the initial notice procedure. AI to be given notice of statutory inspections to allow inspection at appropriate stages.

Materials, goods and workmanship

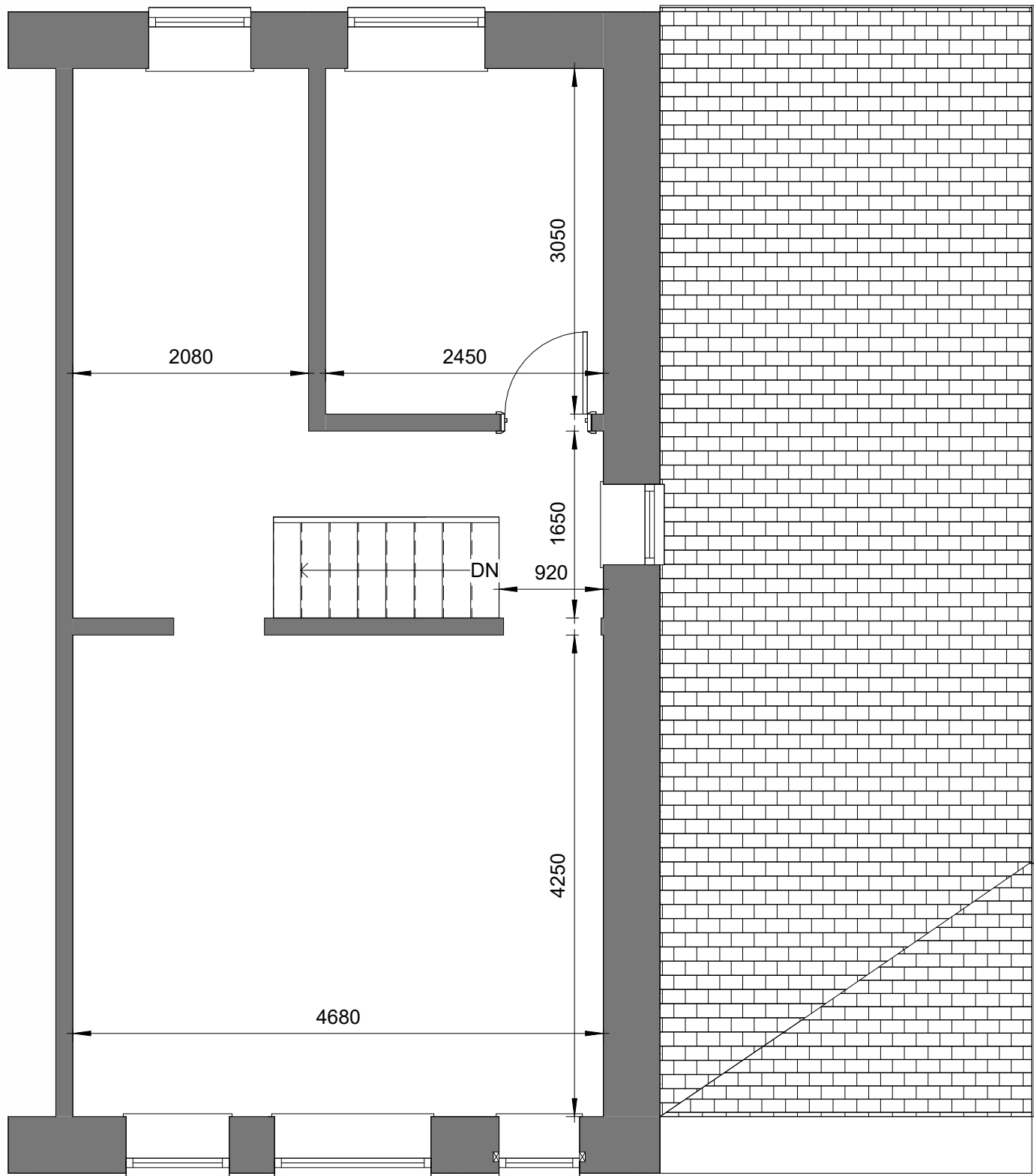
Goods, materials and workmanship are to be of the best quality of their respective kinds and those for which there are a British Standard or Code of Practice are to conform thereto unless otherwise stated. Descriptions of goods, materials and workmanship given in any one trade are to apply throughout this Specification unless otherwise stated. All workmanship shall be carried out in accordance with current Building Regulations. All materials shall be used and fixed strictly in accordance with manufacturer's instructions, unless specified otherwise. All commodities to be new and left in perfect condition on completion and when incorporated into the works.

Health & Safety

The Contractor shall ensure that all safety, health and welfare measures required under or by virtue of the provision of any enactment or regulations or the working rules of any industry are complied with. In carrying out the works the contractor shall at all times comply with the requirements of the Construction (Design and Management) Regulations 2015, this will include taking on Clients duties, unless Client appoints separate Principal Designer. Where necessary notifications to be served to HSE and appropriate Construction manuals produced.



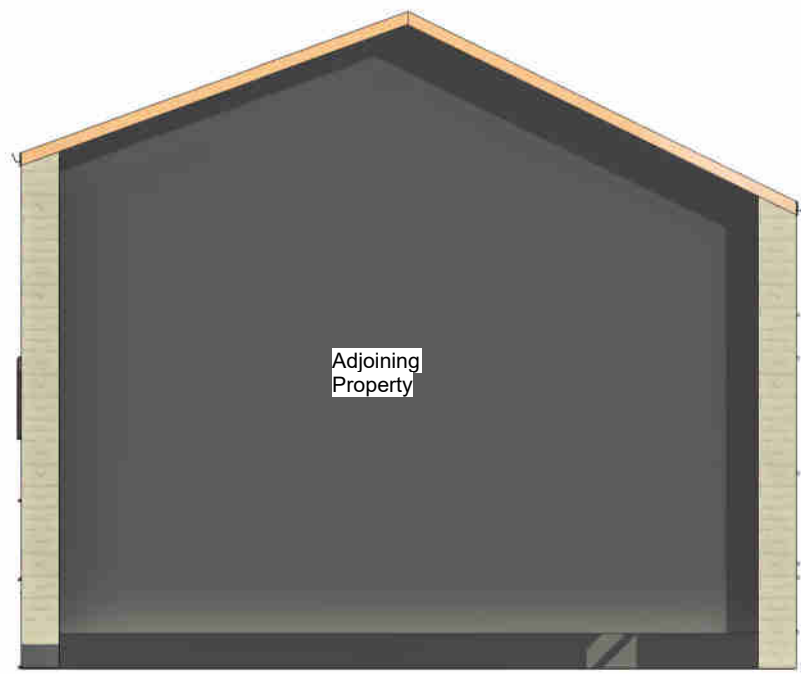
1 Existing Ground Floor Plan
1 : 50



2 Existing First Floor Plan
1 : 50



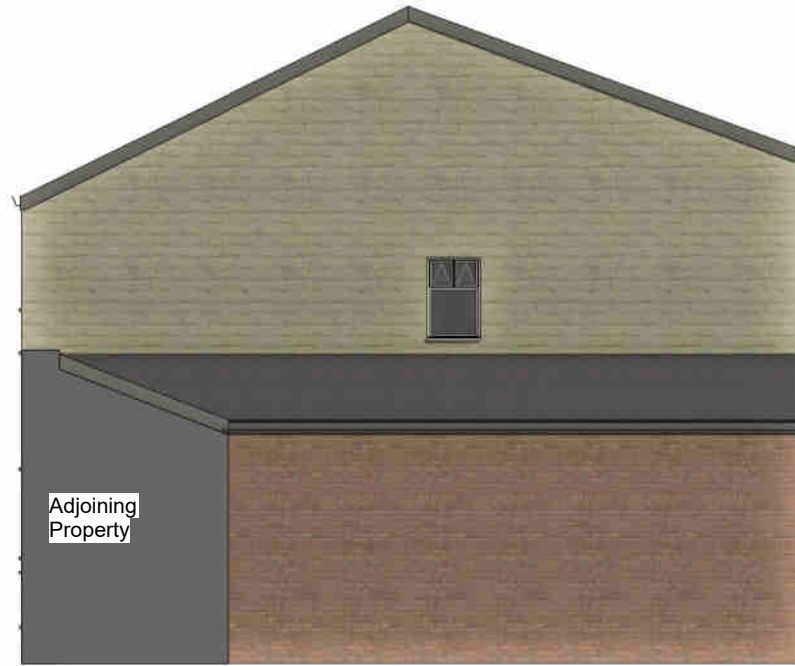
4 Existing Front Elevation
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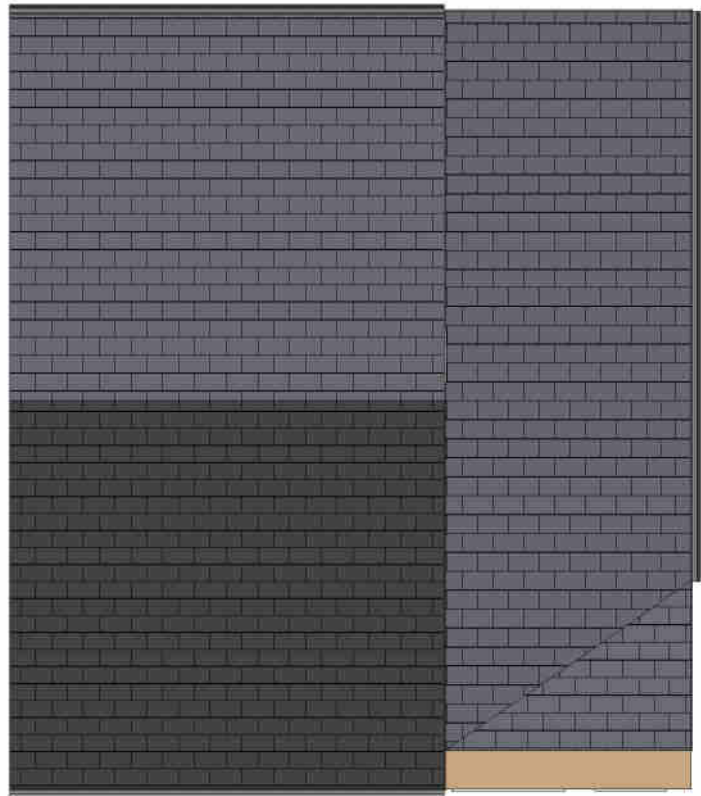
5 Existing LHS Gable Elevation
1 : 100



6 Existing Rear Elevation
1 : 100



7 Existing RHS Gable Elevation
1 : 100

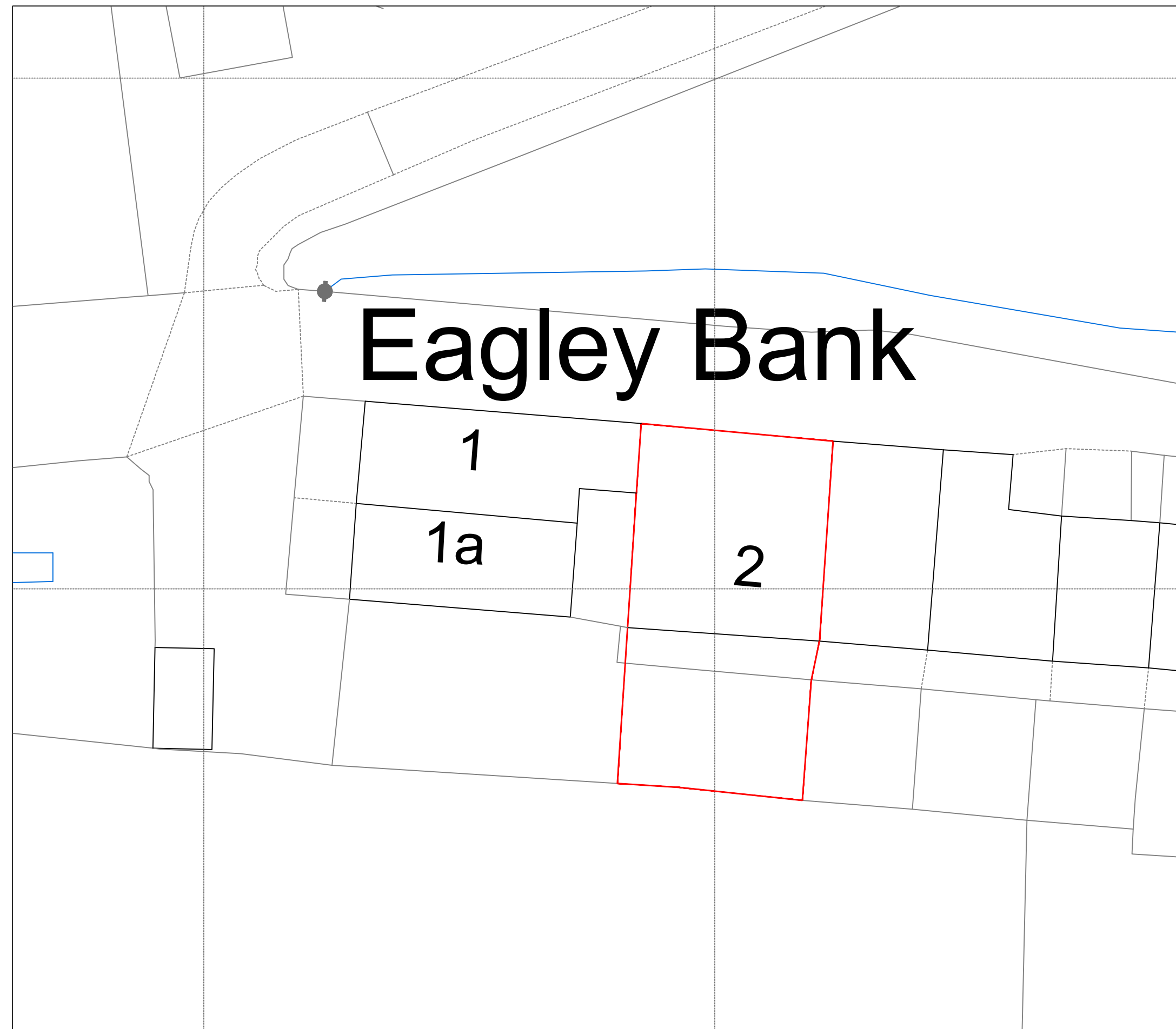


3 Existing Roof Layout
1 : 100

00	Initial Issue	05/01/26
Rev. No.	Revision Description	Rev. Date
Title: Existing Floor Plan, Elevations and Roof Layout		
Project: 2 Eagley Bank Shawforth OL12 8HE		
Client: Neil Orrell 2 Eagley Bank Shawforth OL12 8HE		
Scale (@ A1)	Drawn By:	Checked By:
As indicated	JW	AW
Date:	05/01/26	513
Project Number:		
Drawing Number	Revision Number	
JCBD-25-513-1	00	

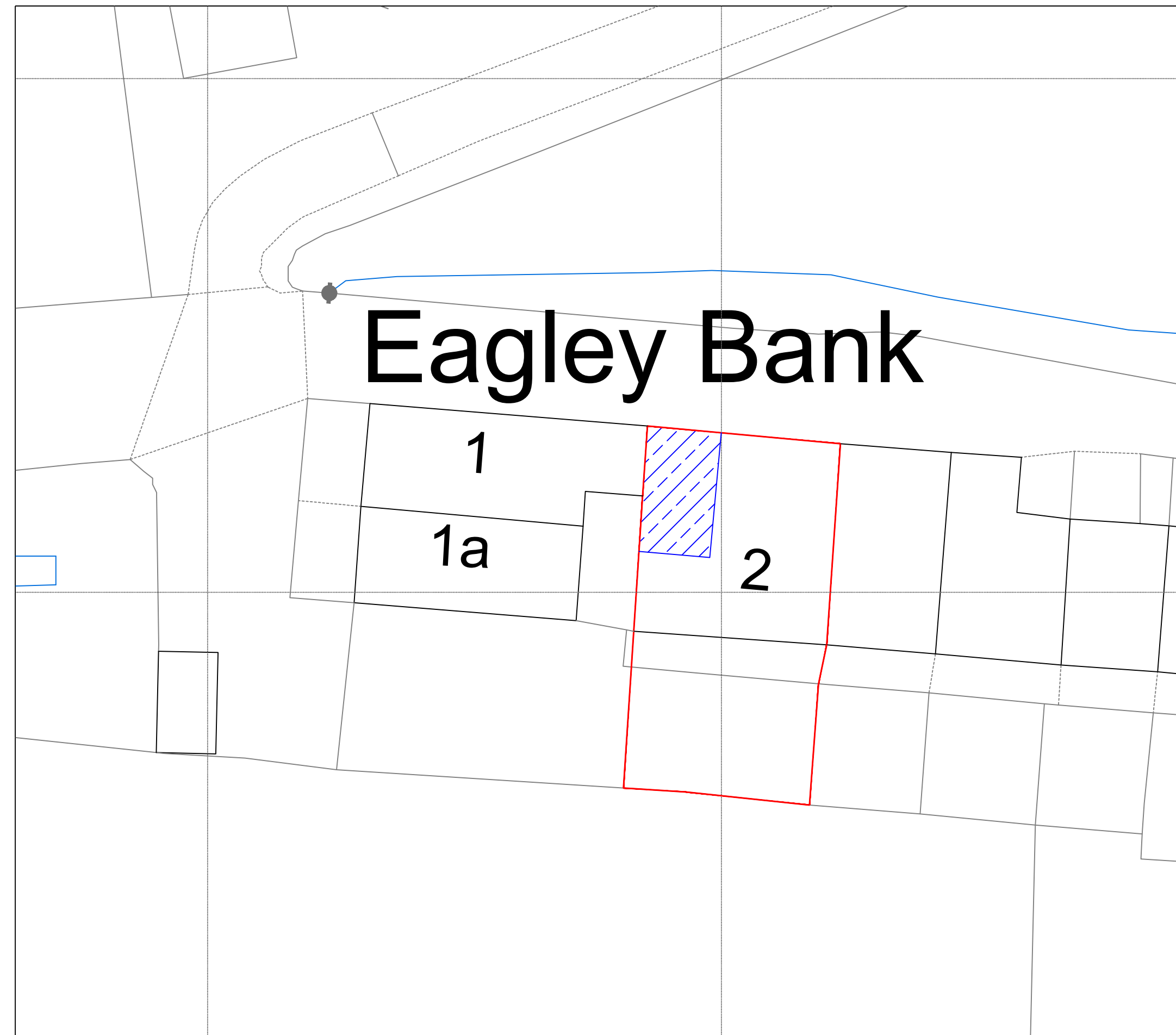


J C Building Design LTD
Tel: 01706 599352
enquiries@jcbuildingdesign.co.uk



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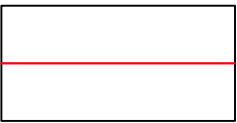
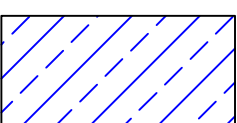
Existing Site Plan 1:200@A1

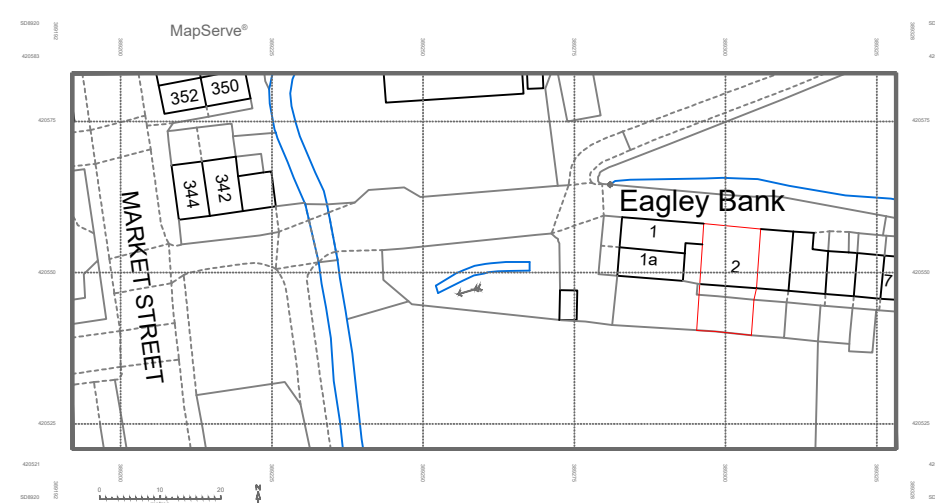


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Proposed Site Plan 1:200@A1

Legend

-  Property Boundary
-  Proposed New Structure



Location Plan 1:1250@A1

Rev. No.	Revision note.	Date.
Title:	Location Plan, Existing and Proposed Site Plans	
Project:	2 Eagley Bank Shawforth OL12 8HE	
Client:	Neil Orrell 2 Eagley Bank Shawforth OL12 8HE	
Scale:	Designed:	Drawn:
Indicated	AW	JW
		Date:
		05/01/26
Drawing No. JCB0-25-513 - 8. Rev00		
 J C Building Design Ltd Tel: 01706 599352 / 07824 871086 enquiries@jcbuildingdesign.co.uk		

GENERAL NOTES

THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

ALL DIMENSION TO BE CHECKED ONSITE, DO NOT SCALE.

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Domestic clients

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Or:

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Materials, goods and workmanship

Goods, materials and workmanship are to be of the best quality of their respective kinds and those for which there are a British Standard or Code of Practice are to conform thereto unless otherwise stated. Descriptions of goods, materials and workmanship given in any one trade are to apply throughout this Specification unless otherwise stated. All workmanship shall be carried out in accordance with current Building Regulations. All materials shall be used and fixed strictly in accordance with manufacturer's instructions, unless specified otherwise. All commodities to be new and left in perfect condition on completion and when incorporated into the works.

Health & Safety

The Contractor shall ensure that all safety, health and welfare measures required under or by virtue of the provision of any enactment or regulations or the working rules of any industry are complied with. In carrying out the works the contractor shall at all times comply with the requirements of the Construction (Design and Management) Regulations 2015, this will include taking on Clients duties, unless Client appoints separate Principal Designer. Where necessary notifications to be served to HSE and appropriate Construction manuals produced.

04	New Gable Revised To Stone	21/09/26
03	French Doors Added To Rear At First Floor	13/08/26
02	First Floor & Roof Layout Revised	12/08/26
01	Proposed Windows Revised To Black	29/01/26
00	Initial Issue	05/01/26
Rev. No.	Revision Description	Rev. Date

Title: Proposed Floor Plan, Elevations and Roof Layout

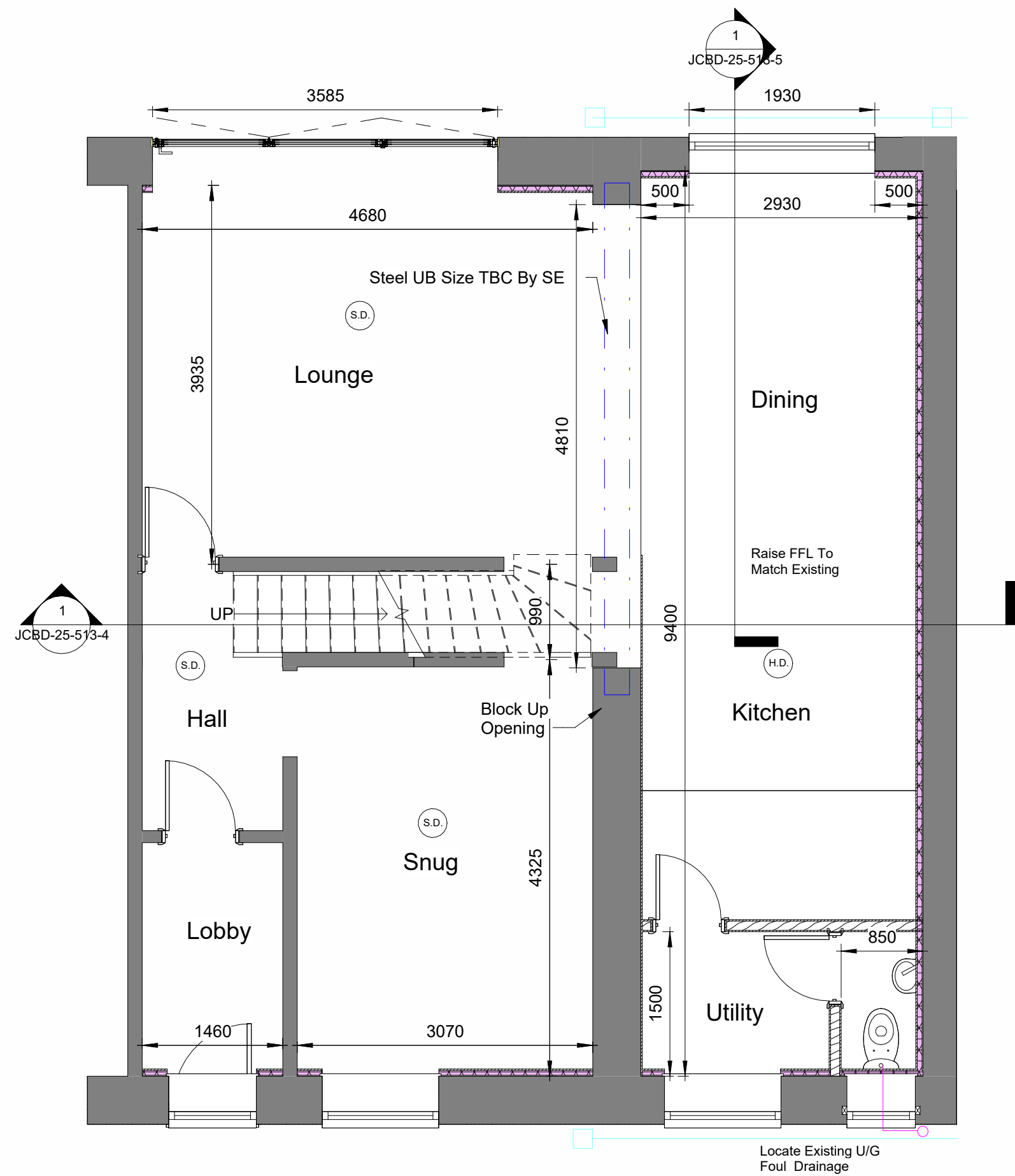
Project: 2 Eagleley Bank
Shawforth
OL12 8HE

Client: Neil Orrell
2 Eagleley Bank
Shawforth
OL12 8HE

Scale (@ A1) As indicated
Drawn By: JW
Checked By: AW
Date: 05/01/26
Project Number: 513

Drawing Number JCBD-25-513-2
Revision Number 04

J C Building Design LTD
Tel: 01706 599352
enquiries@jcbuildingdesign.co.uk



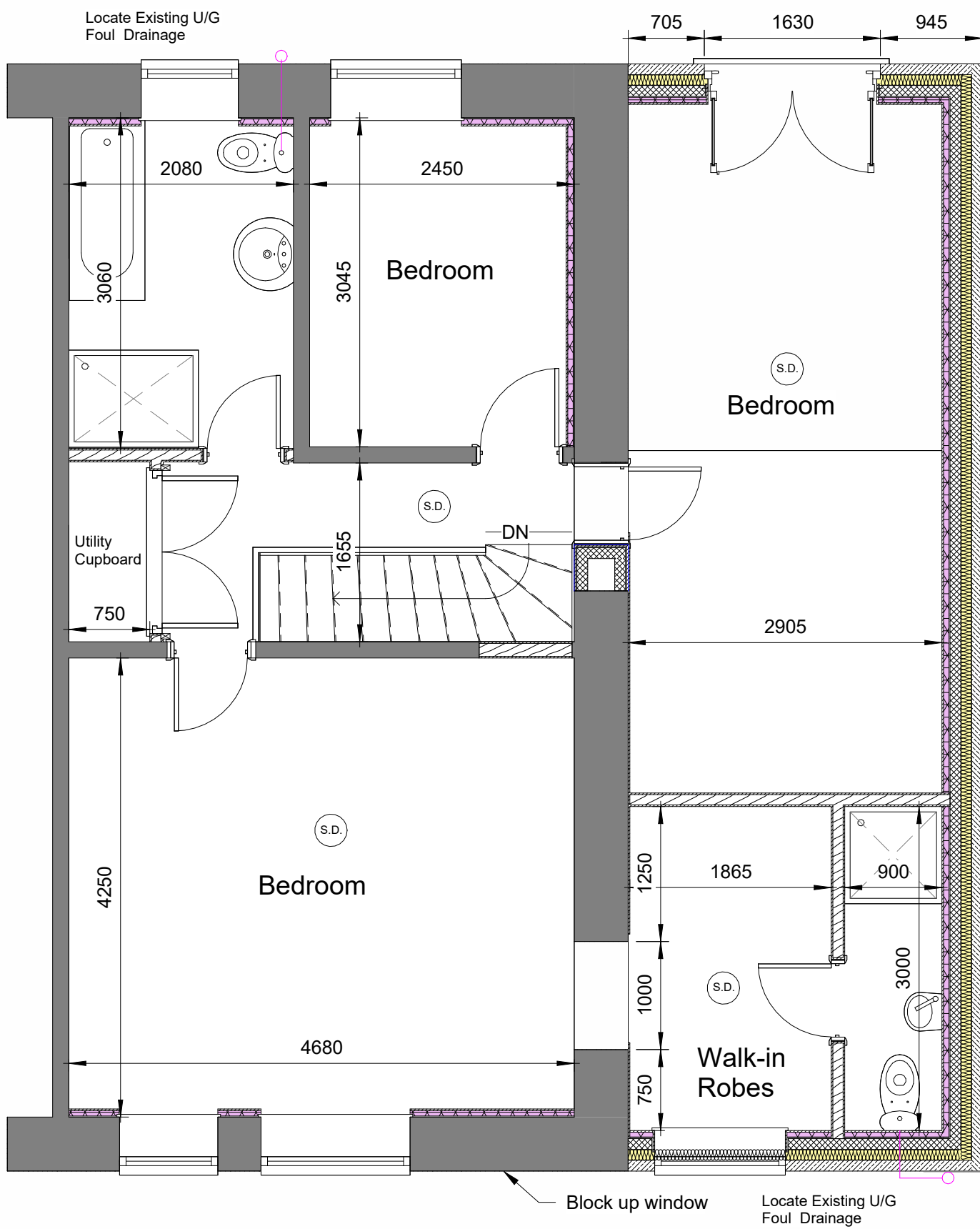
1 Proposed Ground Floor Plan
1 : 50



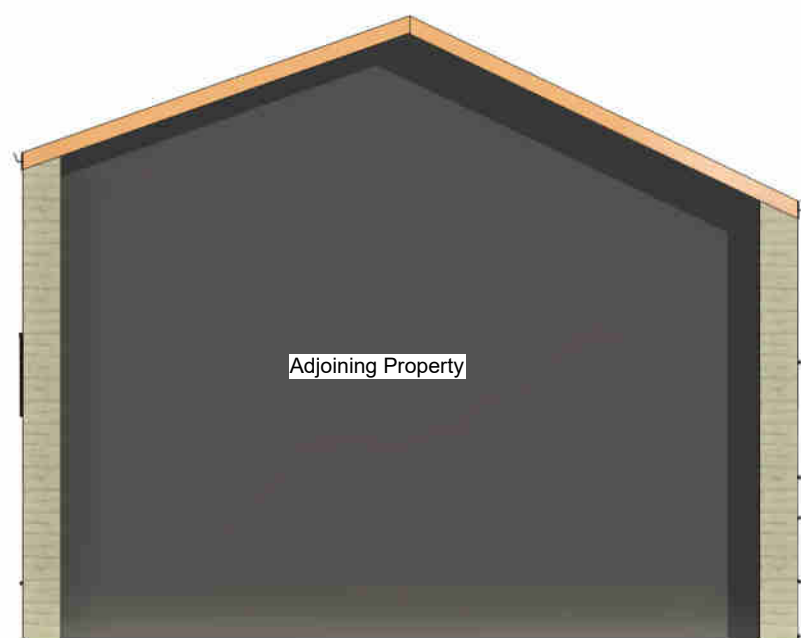
3 Proposed Front Elevation
1 : 100



5 Proposed Rear Elevation
1 : 100



2 Proposed First Floor Plan
1 : 50



4 Proposed LHS Gable Elevation
1 : 100



6 Proposed RHS Gable Elevation
1 : 100

Legend

- Stone Work - Plans
- Blockwork - Plans
- Internal Stud Wall - Plans
- Insulated Plasterboard - Plans
- Insulation - Plans
- Stone Work - Elevations
- Slate Roof Finish - Elevations
- Window and Door Finish - Elevations
- Foul Drainage - Plans
- Surface Water Drainage - Plans
- (S.D.) Smoke Detector - Plans
- (H.D.) Heat Detector - Plans



1 Proposed Front Image



2 Proposed Rear Image



3 Proposed RHS Gable Image

GENERAL NOTES

Front Elevation

Existing elevation coursed stone construction finish, existing windows are white UPVC. Proposed construction coursed stone to match existing. Windows and doors to be black UPVC to match the existing in material.

Gable Elevations (RHS)

Existing lower brick construction, upper elevation coursed stone construction finish, existing windows are white UPVC. Proposed construction coursed stone to match existing.

Rear Elevation

Existing elevation coursed stone construction finish, existing windows are white UPVC. Proposed construction coursed stone to match existing. Windows and doors to be black UPVC to match the existing material.

Roof

Existing roof has a slate finish. Proposed construction is to have a slate finish to match the existing in colour and material.

04	New Gable Revised To Stone	21/09/26
03	French Doors Added To Rear At First Floor	13/08/26
02	First Floor & Roof Layout Revised	12/08/26
01	Proposed Windows Revised To Black	29/01/26
00	Initial Issue	05/01/26
Rev. No.	Revision Description	Rev. Date

Title: Proposed Images

Project: 2 Eagley Bank
Shawforth
OL12 8HE

Client: Neil Orrell
2 Eagley Bank
Shawforth
OL12 8HE

Scale (@ A1)	Drawn By: JW	Checked By: AW	Date: 05/01/26	Project Number: 513
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Drawing Number	Revision Number
JCBD-25-513-3	04











