

Application Number:	2016/0630	Application Type:	Full
Proposal:	Erection of 8 dwellings including new access road, landscaping and land stabilisation and drainage works (part retrospective)	Location:	Land at Hurst Platt, Waingate Road, Rawtenstall
Report of:	Planning Manager	Status:	For Publication
Report to:	Development Control Committee	Date:	21/06/2017
Applicant(s):	Mr Brendan Kiely and Mr Harrison Kiely	Determination Expiry Date:	30/06/2017
Agent:	Mr N Anyon (Croft Goode Architects)		

Contact Officer:	James Dalgleish	Telephone:	01706 238643
Email:	planning@rossendalebc.gov.uk		

REASON FOR REPORTING	
Outside Officer Scheme of Delegation	
Member Call-In	
Name of Member:	
Reason for Call-In:	
3 or more objections received	✓
Other (please state):	

#### **HUMAN RIGHTS**

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights:-

#### **Article 8**

The right to respect for private and family life, home and correspondence.

#### **Article 1 of Protocol 1**

The right of peaceful enjoyment of possessions and protection of property.

#### 1. RECOMMENDATION

Approve full planning permission subject to conditions and SUBJECT TO MICHAEL POOLER'S ACCEPTANCE OF A SUITABLE SCHEME IN RESPECT OF LAND STABILITY AND DRAINAGE.

Version Number:	1	Page:	1 of 11
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#### **APPLICATION DETAILS**

#### 2. SITE

The application relates to a substantial parcel of land located to the north of Newchurch Road in Rawtenstall, accessed via Green Street.

The land has been partially developed; two pairs of semi-detached three-storey stone dwellings have been constructed on the western portion of the site. Excavations have taken place toward the eastern end of the site, extending into the slope to the north, and a steel sheet piled retaining wall has been constructed at the foot of the slope. Foundations have been partially constructed for an additional pair of semi-detached dwellings.

The slope at the northern end of the site has undergone some movement, which appears to have resulted in damage to the gardens and outbuildings of residential properties to the north along Hurst Crescent.

The site is surrounded on its north, west and south sides by residential properties and their gardens. To the east of the site is a small area of woodland.

The site lies within the defined urban boundary.

#### 3. RELEVANT PLANNING HISTORY

2008/0681 - Erection of 3 no. detached dwellings (Refused)

2009/0028 - Erection of 3 dwellings (Refused, than allowed on appeal, not implemented)

2012/0544 - Erection of 3 dwellings (Approved, not implemented)

2013/0470 – Outline: Construction of 8 Dwellings Comprising Four Semi Detached Pairs (Approved, not implemented)

2014/0168 - Erection of 8 houses (Approved, not implemented. The construction of the four dwellings currently on site commenced but without the discharge of several pre-commencement conditions included on planning permission 2014/0168, and as such it is not considered that planning permission 2014/0168 has been lawfully implemented)

2015/0087 - Variation of condition 6 (access road and retaining walls) pursuant to planning permission 2014/0168 (Not determined)

2015/0088 - Discharge of Conditions: 5 (road improvements) 8 (contruction method statement) 10 (foul & surface water drainage) & 11(structural stability of land & properties) pursuant to planning permission 2014/0168 (Refused)

2015/0507 - Variation of Condition 11 (land stability) pursuant to Planning Permission 2014/0168 (Refused)

Version Number:	1	Page:	2 of 11
	1 -		

2015/0508 - Discharge of Conditions: 3 (design and facing materials); 5 (scheme to improve section of Green Street); 8 (Construction Method Statement); and 10 (foul/surface water drainage) pursuant to planning permission 2014/0168 (Split Decision – Only Conditions 3 and 8 were discharged)

2016/0167 - Variation of conditions: 5 (scheme to improve section of Green Street); 10 (foul / surface water drainage); and 11 (land stability) pursuant to planning permission 2014/0168 (Not determined)

#### 4. PROPOSAL

Planning permission was granted previously (ref: 2014/0168) for the construction of four pairs of semi-detached dwellings on the land, subject to eleven conditions. Several of those conditions required the submission and approval of details to the Council prior to the commencement of development on the site. Development was carried out by the land owner at the time to construct two pairs of semi-detached dwellings on the site, and significant excavations took place at the foot of the slope toward the north east end of the site and a steel sheet piled retaining wall was put in place. Foundations were constructed on the excavated area for another pair of semi-detached dwellings.

The above works took place without the necessary discharge of a number of the aforementioned pre-commencement conditions, and as such it is not considered that planning permission 2014/0168 has been lawfully implemented.

A Temporary Stop Notice was served on the site by the Council's Planning Enforcement Team and the developer at the time was advised to cease the unauthorised works until they had been regularised and brought within planning control.

The slope to the north of the site has undergone some movement, which has resulted in a land slip towards the top of the slope. It appears that damage to the rear gardens and outbuildings of some residential properties along Hurst Crescent was caused by the land slip.

Subsequently the land was sold to a new developer (the current applicant). Further to discussions between officers and the current developer, the current application has been submitted to regularise the development that has already occurred on the site and for the erection of a further two pairs of semi-detached three-storey dwellings (bringing the total to eight), to match those already constructed (and largely in line with the planning permission previously granted for eight dwellings under 2014/0168).

The current application also includes proposed works to drain and stabilise the site including the slope to the north of the site, including:

- The installation of land drainage within the slope
- The installation of a new sheet piled retaining wall, approximately 2m higher than the existing sheet piled wall at the foot of the slope
- Backfilling the slope behind the new sheet piled wall with single-size granular stone fill, covered with topsoil and grass
- Construction of a gabion retaining wall to the rear of the gardens of plots 1-4 at the western end of the site

The proposed dwellings themselves would match those that have been constructed on site, resulting in a line of four pairs of semi-detached properties aligned approximately in an east-west

Version Number:	1	Page:	3 of 11
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direction. The dwellings would be of stone construction to match those which have already been built, and would have roof slates again to match those already constructed. Windows and doors on the dwellings would be grey UPVC units to match those on the existing houses.

Access to the development would be via the existing access along Green Street, and the access road to the dwellings would be surfaced in tarmac. The parking spaces in front of the dwellings would be surfaced with porous paving.

#### 5. POLICY CONTEXT

#### **National**

#### National Planning Policy Framework

Section 4 Promoting Sustainable Transport

Section 6 Delivering a Wide Choice of High Quality Homes

Section 7 Requiring Good Design

Section 8 Promoting Healthy Communities

Section 11 Conserving and Enhancing the Natural Environment

#### **Development Plan Policies**

#### Rossendale Core Strategy DPD (2011)

Policy AVP4 Rawtenstall, Crawshawbooth, Goodshaw and Loveclough

Policy 1 General Development Locations and Principles

Policy 8 Transport Policy 9 Accessibility

Policy 18 Biodiversity, Geodiversity and Landscape Conservation

Policy 19 Climate Change, etc

Policy 23 Promoting High Quality Designed Spaces

Policy 24 Planning Application Requirements

#### **Other Material Considerations**

National Planning Practice Guidance

RBC Alterations and Extensions to Residential Properties SPD

#### 6. CONSULTATION RESPONSES

#### **Environment Agency**

No comments to make on the application.

#### **RBC** Building Control

No comments to make on the application.

#### Contaminated Land

No objection subject to conditions.

#### Ecology

No objection subject to condition.

Version Number:	1	Page:	4 of 11
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#### LCC (Highways)

No objection subject to conditions.

#### Consulting Structural / Civil Engineer (Michael Pooler Associates)

Awaiting comments.

#### **RBC Property Services**

No comments have been received.

#### **United Utilities**

No objection subject to conditions.

#### 7. REPRESENTATIONS

To accord with the General Development Procedure Order 48 neighbours were sent letters on 12/04/2017 and 4 site notices were posted on 12/04/2017.

Five letters of objection and one other representation have been received, raising the following points:

- Piled foundations may cause adverse impacts to residential properties to the north.
- Inadequate access to the site, and the development will cause highway safety issues.
- Existing land drainage issues on the site.
- Site not suitable for building.
- Facing materials need to match houses already constructed on site, including those for retaining wall to the proposed access road.
- Planting of native tree species is required to the rear of the site.
- Development would harm the privacy enjoyed by neighbouring residents.
- Inadequate landscaping is proposed.
- Concerns over land stability.

#### 8. REPORT

The main considerations of the application are:

1) Principle; 2) Visual Amenity; 3) Neighbour Amenity; 4) Access/Parking and Highway Safety

#### Principle

The site is located within the defined urban boundary, and the principle of residential development (8 dwellings) has already been established on the site by previous planning approvals.

Given the history of land instability on the site, it is considered that the acceptability of the scheme in principle is partly dependent on whether or not it can be demonstrated that the proposed works will satisfactorily stabilise the slope to the north of the proposed dwellings.

Paragraph 121 of the Framework states:

Version Number: 1	Page:	5 of 11
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"Planning policies and decisions should also ensure that:

- the site is suitable for its new use taking account of ground conditions and land instability, including from natural hazards or former activities such as mining, pollution arising from previous uses and any proposals for mitigation including land remediation or impacts on the natural environment arising from that remediation"

The applicant has appointed engineers to devise a suitable scheme of land stabilisation and a drainage solution for this site. The Council has appointed Michael Pooler Associates to assess the proposed scheme on its behalf. Discussions have been held between the case officer and Michael Pooler during which Michael has indicated that the slope stability scheme's design appears to be progressing in a favourable direction.

However, at the time of writing further technical information is still awaited from the applicant's consulting engineer relating to the design of the proposed slope stability works. The applicant has confirmed that the information will be provided by Wednesday 14<sup>th</sup> June. Until such information is received, the Council's consulting engineer (Michael Pooler Associates) is unable to provide formal confirmation that the proposed scheme is acceptable. It is anticipated that final confirmation of the acceptability of the proposed slope stability and drainage scheme will be provided in the update report.

It is considered necessary to include a condition requiring that the proposed land stabilisation and drainage works are carried out prior to any other construction works taking place to the proposed dwellings on site, in order that any risk of land instability is addressed without delay.

Subject to Michael Pooler's acceptance of a suitable scheme in respect of land stability and drainage and the above condition, the proposed scheme is considered acceptable in principle.

#### Visual Amenity

The design and appearance of the proposed dwellings would be similar to that previously approved under 2014/0168 and it is proposed to use facing materials to match those on the dwellings already constructed.

The design, scale and appearance of the proposed dwellings would be acceptable, and it is considered appropriate to include a condition requiring the facing materials to match those on the dwellings already constructed.

The applicant has confirmed that the proposed retaining wall on the southern edge of the site will be faced in 140mm coursed stone which would be appropriate in the context of the site, and it is considered appropriate to include a condition requiring that the wall is faced as such.

The submitted landscaping and boundary treatment details are appropriate, and it is considered necessary to include a condition requiring that the proposed planting is carried out in the first planting season following either completion of the development or first occupation of any of the dwellings (whichever is the sooner).

Subject to the above conditions, the proposed scheme is considered acceptable in terms of visual amenity.

#### **Neighbour Amenity**

Version Number:	1	Page:	6 of 11

The siting, orientation and fenestration of the proposed dwellings would not differ significantly from the scheme approved under 2014/0168.

Given the siting and orientation of the proposed dwellings, and the separation distances involved between the site and other residential properties, it is not considered that the scheme would result in any undue loss of daylight, outlook or privacy to any nearby residential properties.

Given the proximity to other residential properties, it is considered appropriate to include a condition restricting the hours of construction in order to prevent undue noise disturbance during construction works.

Subject to the above, the scheme is considered acceptable in terms of neighbour amenity.

#### Access / Parking and Highway Safety

The Local Highway Authority has no objection to the proposed scheme (subject to conditions), which in terms of access arrangements is similar to that previously approved under 2014/0168.

Concerns were initially raised by the Local Highway Authority regarding the length of the proposed driveways serving Plots 7 and 8. However, it has since been clarified that there is a 2m-wide underpass incorporated into the front elevations of the dwellings which effectively extends the length of the driveways to an acceptable standard. In any case, the applicant has now provided amended plans showing that roller shutter garage doors are to be used (rather than up-and-over garage doors) to maximise the available driveway length for cars to be parked.

The conditions requested by the Local Highway Authority include:

- None of the dwellings shall be occupied until their garages are available to use for the
  parking of cars and the hard standing fronting them has been provided with a hard
  permeable surface as shown on the submitted drawings. Notwithstanding permitted
  development rights, the garages and driveways shall be kept freely available for the parking
  of cars in perpetuity.
- Within 3 months of the grant of planning permission a scheme to improve the section of Green Street from its junction with Holmes Street in an easterly direction to the red edge shown on the plan shall be submitted to and approved by the Local Planning Authority and shall be constructed prior to the occupation of any of the houses.
- Within 3 months of the grant of planning permission full engineering, drainage, street lighting and constructional details of the access road, including the retaining wall and the pedestrian/vehicle restraint along the southerly side of the access road shall been submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be constructed in accordance with the approved details.

Subject to the above conditions, the proposed scheme is considered acceptable in terms of access / parking and highway safety.

#### 9. CONCLUSION

An unlawful commencement of a previously approved development commenced on this site and this application seeks to regularise the situation at site. At the time of writing this report the Council's consultant engineer has not formally confirmed acceptance of the proposed land stabilisation and drainage solutions for this site however it is considered that an acceptable solution can be achieved to resolve the issues at this site.

Version Number:	1	Page:	7 of 11
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#### 10. RECOMMENDATION

Approve full planning permission subject to conditions and SUBJECT TO MICHAEL POOLER'S ACCEPTANCE OF A SUITABLE SCHEME IN RESPECT OF LAND STABILITY AND DRAINAGE.

#### 11. CONDITIONS

- 1. The development shall be carried out in accordance with the following:
- Application Form date stamped 12<sup>th</sup> April 2017 by the Local Planning Authority.
- Site Location Plan (Croft Goode Architects Drawing Number 16-2218-EX001 Revision B) date stamped 25<sup>th</sup> April 2017 by the Local Planning Authority.
- Site Layout (James Crosbie Associates Ltd Drawing Number 01 Revision P2) date stamped 12<sup>th</sup> April 2017 by the Local Planning Authority.
- Proposed Floor Plans (Croft Goode Architects Drawing Number 16-2218-PN101) date stamped 12<sup>th</sup> April 2017 by the Local Planning Authority.
- Sections Through Site (James Crosbie Associates Ltd Drawing Number 02 Revision P2) date stamped 12<sup>th</sup> April 2017 by the Local Planning Authority.
- Detailed Landscape Proposals (Margaret Twigg Landscape Architects Drawing Number 452.01) date stamped 2<sup>nd</sup> June 2017 by the Local Planning Authority.
- Proposed Elevations (Croft Goode Architects Drawing Number 16-2218-003) date stamped
   1<sup>st</sup> June 2017 by the Local Planning Authority.
- Proposed Site Sections (Croft Goode Architects Drawing Number 16-2218-PN301) date stamped 12<sup>th</sup> April 2017 by the Local Planning Authority.
- Property Management North West Ltd arrangements for future management and maintenance of the proposed streets within the development (date stamped 12<sup>th</sup> June 2017 by the Local Planning Authority).

Reason: For the avoidance of doubt.

2. No development in respect of the construction of the dwellinghouses hereby permitted shall take place until the slope stability and drainage works as shown on approved drawing Numbers 01 (Revision P2) and 02 (Revision P2) (by James Crosbie Associates Ltd) have been completed in full.

Reason: In the interests of land stability and to ensure adequate drainage of the site.

3. Any construction works associated with the development hereby approved shall not take place except between the hours of 7:00 am and 7:00 pm Monday to Friday and 8:00 am and 1:00 pm on Saturdays. No construction shall take place on Sundays, Good Friday, Christmas Day or Bank Holidays.

Reason: To safeguard the amenities of neighbours.

4. Notwithstanding what is shown on the submitted plans and documents, the dwellings hereby permitted shall be constructed with facing materials to match those used in the

Version Number:   1   Page   P	ae:   8 of 11
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construction of the elevations and roof of the dwelling on Plot 1 which has already been constructed on the site.

<u>Reason</u>: To ensure the development is of satisfactory appearance.

5. Notwithstanding what is shown on the submitted plans and documents, the retaining wall to the new access road along the southern boundary of the site shall be faced in coursed stone to match that used in the construction of the elevations of the dwelling on Plot 1 which has already been constructed on the site.

Reason: To ensure the development is of satisfactory appearance.

6. None of the dwellings hereby permitted shall be occupied until their garages are available for use for the parking of cars, and until the driveways fronting them have been surfaced in a hard permeable material as shown on Margaret Twigg Landscape Architects drawing number 452.01.

<u>Reason</u>: In the interests of highway safety and to ensure that sufficient parking provision is provided for the size of the dwellings hereby approved.

7. Notwithstanding the provisions of the Town & Country Planning (General Permitted Development) (England) Order 2015, or any subsequent Order amending or revoking and re-enacting it, each of the garages shall be kept freely available for the parking of cars at all times.

<u>Reason</u>: In the interests of highway safety and to ensure that sufficient parking provision is provided and retained for the size of the dwellings hereby approved.

8. Within three months of the date of the planning permission hereby granted, a scheme (including proposed layout, construction details, materials, width, lighting and drainage) to improve the section of Green Street from its junction with Holmes Street in an easterly direction to the red edge shown on the submitted site location plan (Croft Goode Architects Drawing Number 16-2218-EX001 Revision B) shall be submitted to the Local Planning Authority for its approval. The development shall thereafter be fully implemented in accordance with the approved details prior to first occupation of any of the dwellings hereby permitted.

Reason: In the interests of highway safety and to manage surface water runoff.

9. Within three months of the date of the planning permission hereby granted, full engineering, drainage, street lighting and constructional details of the access road (including the retaining wall and the pedestrian/vehicle restraint along the southerly side of the access road) shall been submitted to the Local Planning Authority for its approval. The development shall thereafter be fully implemented in accordance with the approved details prior to first occupation of any of the dwellings hereby permitted.

Reason: In the interests of highway safety and to manage surface water runoff.

10. Foul and surface water shall be drained on separate systems.

Version Number:	1	Page:	9 of 11
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Reason: To secure proper drainage and to manage the risk of flooding and pollution.

11. All new planting forming part of the approved scheme (as shown on Margaret Twigg Landscape Architects drawing number 452.01) shall be carried out in the first planting season either following completion of the development or following first occupation of the last dwelling to be occupied (whichever is the sooner). Any trees or plants which within a period of 5 years of first occupation of the final dwelling die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species. All lawns, trees, shrubs and hedges located forward of the front elevations of the dwellings hereby permitted shall be retained thereafter and any that die or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

Reason: In the interests of visual amenity and to enhance the biodiversity value of the site.

12. If, during any works on site, land contamination is suspected or found, or land contamination is caused, the Local Planning Authority shall be notified immediately. Within one month of such notification taking place a risk assessment (together with a scheme including full details of any proposed remediation measures, together with timescales for their implementation) shall be submitted to the Local Planning Authority for its approval. The development shall thereafter be carried out in accordance with the agreed details. Within one month of the completion of the development or within one month of first occupation of any of the dwellings hereby permitted (whichever is the sooner), a verification report (demonstrating that the approved remediation measures have been carried out in accordance with the approved details) shall be submitted to the Local Planning Authority for its approval.

<u>Reason</u>: In the interests of preventing harm to the future occupants of the development from land contamination.

#### <u>INFORMATIVES</u>

1. The Local Planning Authority has a Core Strategy (adopted in November 2011) and a series of Supplementary Planning Documents, which can be viewed at:

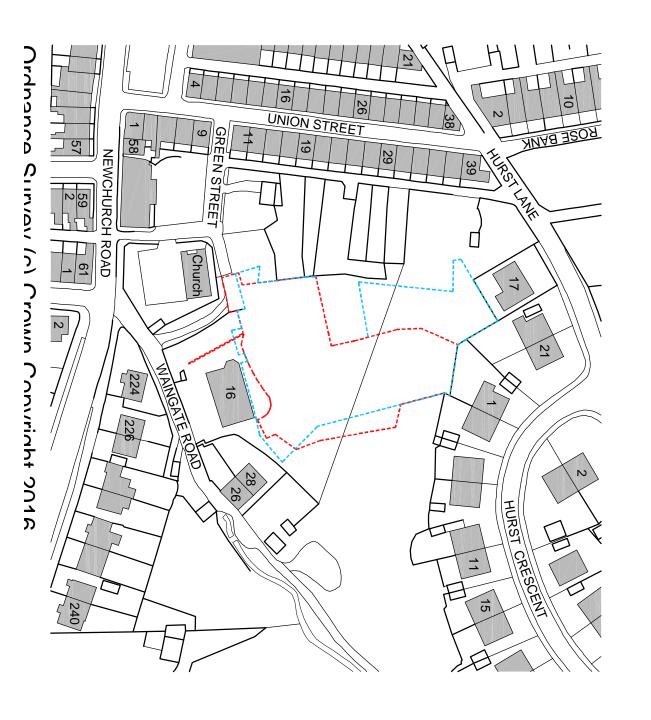
http://www.rossendale.gov.uk/downloads/download/331/core\_strategy\_local\_plan\_part\_1\_ad opted

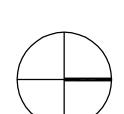
The Council operates a pre-application planning advice service. All applicants are encouraged to engage with the Local Planning Authority at the pre-application stage. In this case the applicant did not engage in pre-application discussions.

The Local Planning Authority has considered the application and where necessary considered either the imposition of planning conditions and/or sought reasonable amendments to the application in order to deliver a sustainable form of development in accordance with the National Planning Policy Framework and the local planning policy context.

Version Number:	1	Page:	10 of 11







93.75m

Please Note

Drawings are based on those submitted as part of previously approved application (Application Number 2014/0168). We are acting as agents on behalf of the applicant and do not assume copyright or ownership of any design or intellectual property.

Site area = 2,547m<sup>2</sup> (0.25 hectares, 0.63 acres)

Site boundary

Client ownership

All rights reserved. Licence number 100022432.

₩	Blue edge amended following email from Planning on 19,04,2015	25-Apr-17 NJA	NJA	₽ E
⋗	Application red edge amended to incorporate works to slope north of site.	06-Apr-17 RJE	RJE	Z Z
геv	description	date	drawn check	check

Berkshire Homes

New Housing Development

Hurst Platt

Rawtenstall

Existing Site Location Plan

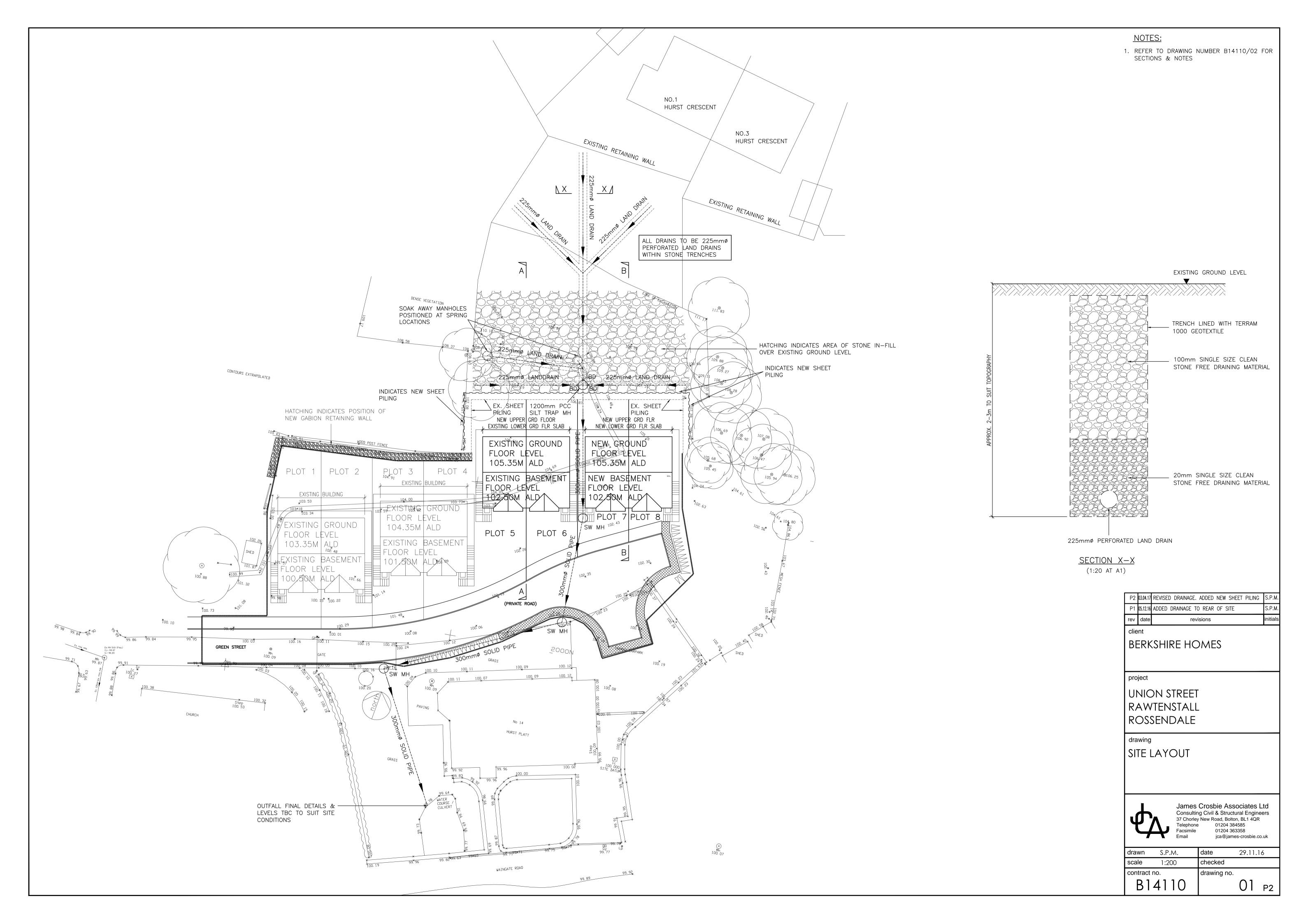
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Planning		checked b	checked by NJM

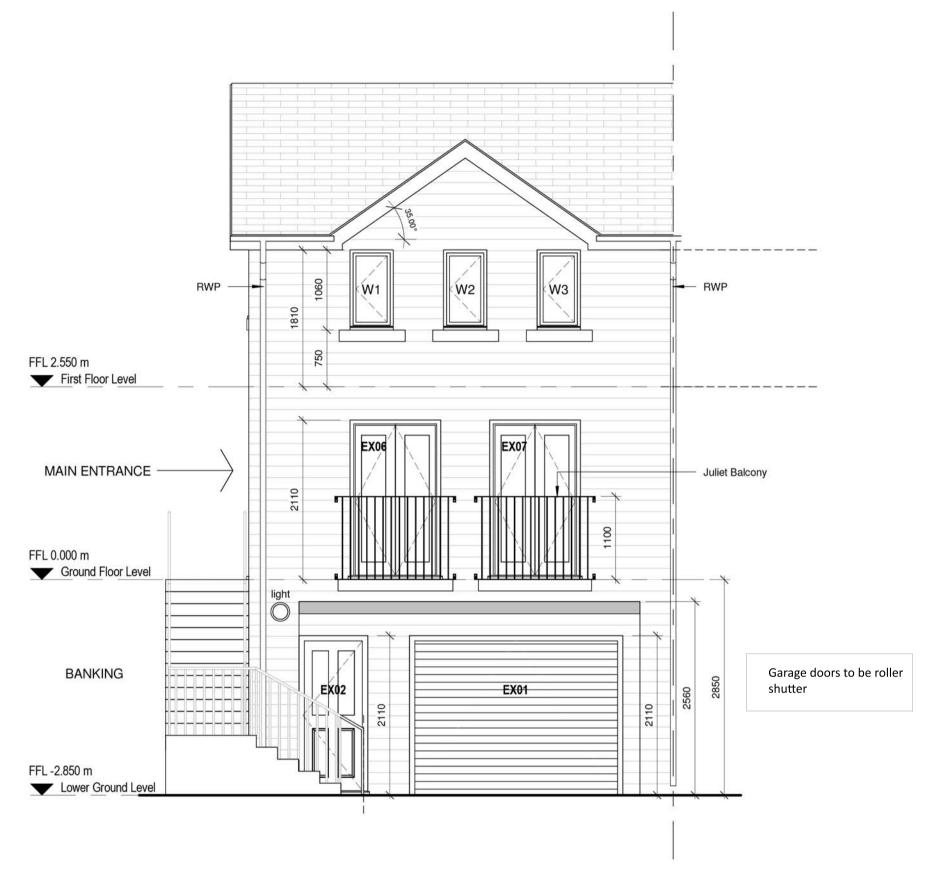
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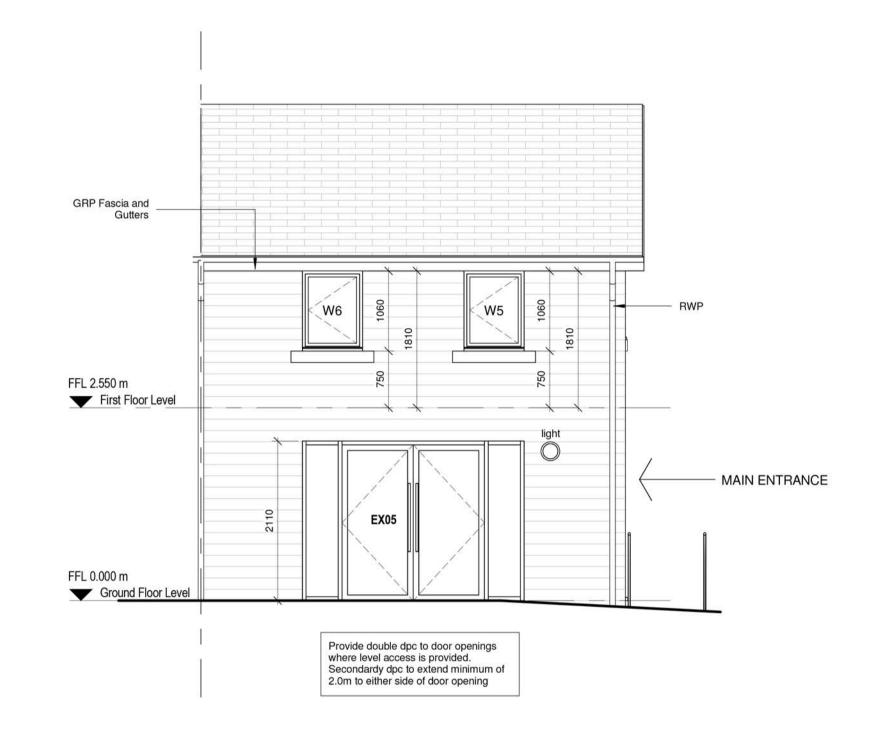


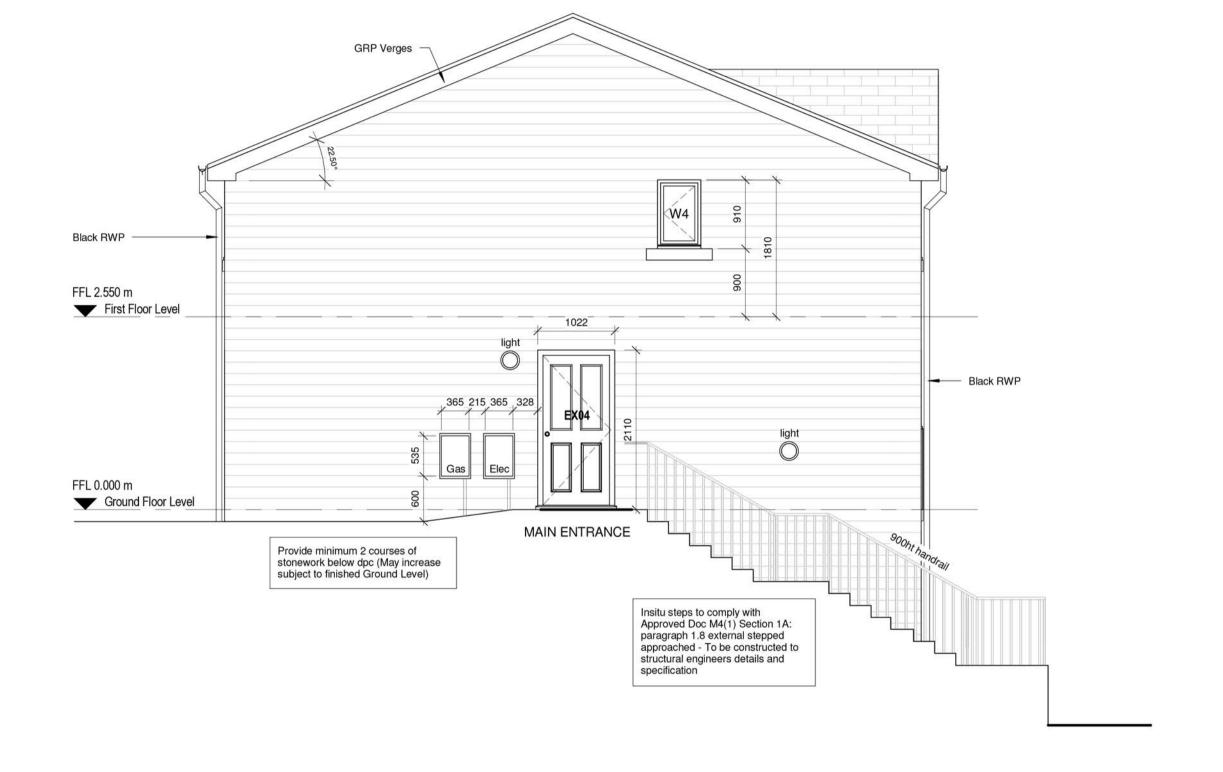
Croft Goode Architects, Office 4, The Crossroads Business Park, Freckleton Street, Kirkham, Lancashire, PR4 2SH t. 01772 686 030 email@croftgoode.cc f: 01772 686 050 www.croftgoode.cc

email@croftgoode.co.uk www.croftgoode.co.uk









MATERIAL KEY

Facing Stone - Standard Coursed Artificial Stonework - Planning Sampled Approved

Roofing Tile - Standard Slate Tile to be laid in accordance with the Manufacturers Specification and Min Angle - Planning Sampled Approved

GRP/UPVc Detailing - Door, Window Frames, Fascia & Soffit Boards, Gutters and Downpipes to be GRP/UPVc and colour to be agreed by Planning Officer.

1 Front Elevation
1:50

2 Rear Elevation
1:50

3 Side Elevation
1:50

Om 0.7m 1.4m 2.1m 2.8m

VISUAL SCALE 1:50

client:

Berkshire Homes

project:

Proposed Residential Development comprising 4 no 3 Bed Semi-Detachedhouses with Basement Garages at Union Street

drawing:

Proposed Elevations

drawing no: project - originator - volume - level - type - role - drawing number 16-2218 -003

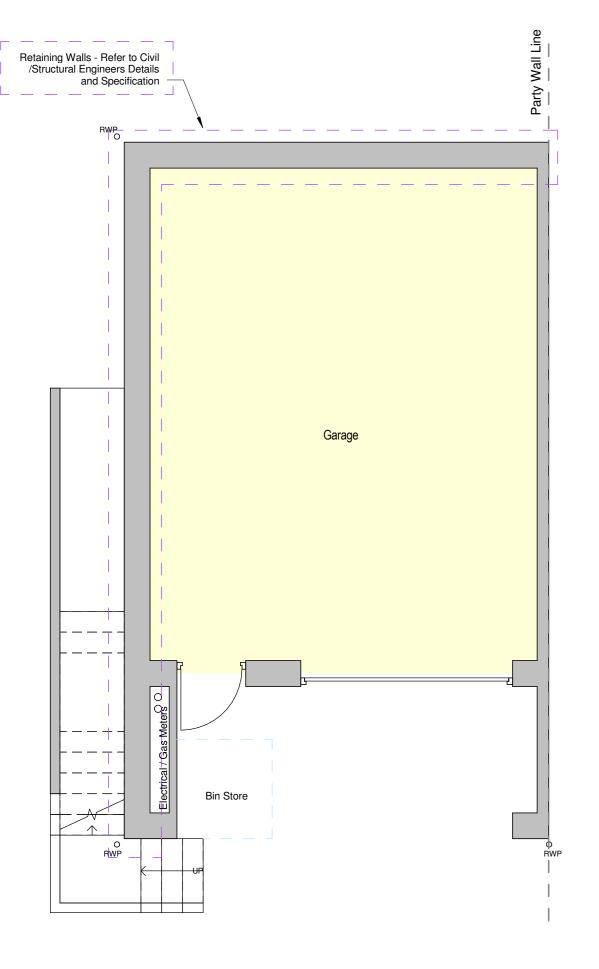
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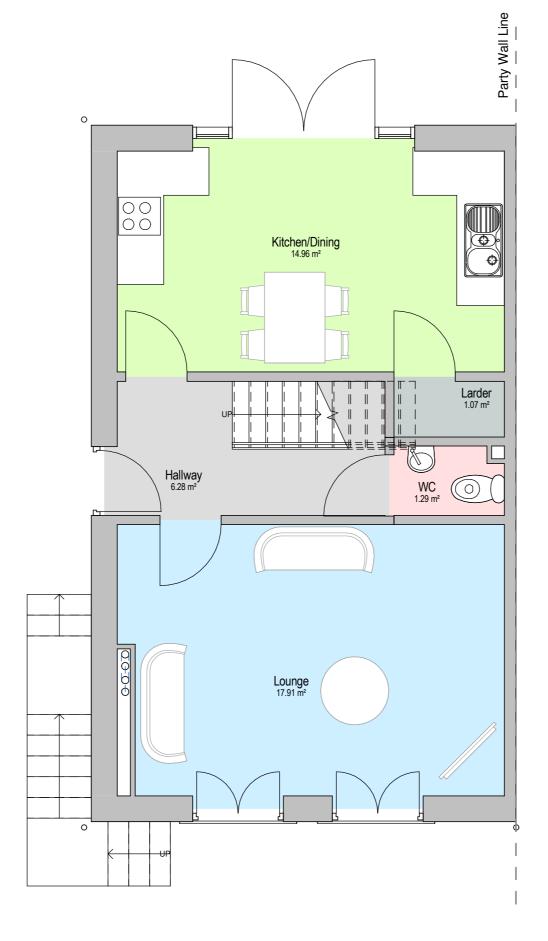
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croft goode

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Kirkham, Preston, Lancashire PR4 2SH
T-0.1773 68630





Bedroom 2 6.40 m² Bedroom 3 7.01 m<sup>2</sup> Store 0.50 m<sup>2</sup> Store 0.50 m<sup>2</sup> Landing 9.08 m<sup>2</sup> Bathroom 3.37 m<sup>2</sup> Master Bedroom

Basement Level

Ground Floor Level
1:50

First Floor Level

# By Department Legend

Bedroom Circulation Kitchen/Dining Lounge Parking Sanitary Storage Store

#### Please Note:

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Site Area = 1,630m<sup>2</sup> (0.16 Hectres, 0.4 Acres)

rev	descriptio	n			date	drawn	check
Revisio	n Schedul	е					
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							_
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DO NOT SCALE.

checked by: RJE

PLANNING



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T: 01772 686030 email@croftgoode.c email@croftgoode.co.uk www.croftgoode.co.uk

## **OUTLINE PLANTING SPECIFICATION**

Existing trees to be retained on the Development Site, and their canopies and roots, are to protected as necessary during construction works with temporary protective fencing in accordance as far as possible with the recommendations within BS5837: 2012

Care should also be taken during Hard and soft landscape works, construction, topsoiling etc, to minimise any disturbance to tree roots, and to retain existing levels within RPA's as much as feasible, using hand digging where necessary within Root Protection Areas.

All materials for construction purposes to be stored outside of the canopy zone of trees. All toxic materials such as oils, bitumens & residues from concrete mixing should be kept well away from the protection zone of the trees, well away from their root systems, & should be retained within effective catchment areas as far away as possible to

Should any tree works be required during the beginning of March to end of August bird nesting season, the trees should be inspected by a suitably qualified Ecologist prior to any pruning works to ensure no nesting birds are present. All nesting birds are protected from disturbance or injury under the Wildlife and Countryside Act 1981. In addition the trees should be checked to ensure no bats are present - if cracks or holes are present in the stems or

#### PROPOSED EXTRA HEAVY STANDARD TREE PLANTING

To be planted in  $1200 \times 1200 \times 1000$  mm depth pits, with 100 mm backfill of clean drainage material in base. Planting medium to be 900mm depth, comprising 80% approved quality topsoil. Any imported topsoil to comply with BS 3882:2007 Multi Purpose Grade. 20% approved peat free compost and Enmag fertilizer to be incorporated at a rate of 70 grams/m2. Mycorrhizal fungus should be applied to new tree either in the form of powder, granules or spikes. Powder and granules should be applied over the exposed roots of the transplanted tree and spread over the newly dug hole. Spikes should be pushed into the rootball once the tree has been planted. An irrigation pipe -eg Green - tech Mona Relief Grande MRG 3 (3m x 60mm dia pipe) to be supplied with a Mona Relief Grande Aria Inlet; or similar approved, irrigation pipe & cover to be installed around tree root ball. Trees to be staked with two 100 mm dia. treated softwood stakes pointed at one end. Stakes to be driven into existing ground beneath tree pit 300mm min. Top of stakes to be approx 750mm above ground, and fixed to tree with a timber cross bar, spacer and rubber tie – type to be agreed Allow for watering in to field capacity upon planting and then a second watering 48 hours later.

#### PROPOSED HEDGE PLANTING TO FRONT DRIVEWAYS

To receive 400 mm depth x 1m wide approved quality topsoil beds, over a de-compacted and free draining formation level. All topsoil to comply to BS 3882:2015 Multi Purpose Grade 'As Dug' topsoil, made weed free, and cultivated, including incorporating a 50mm layer of peat free compost across whole of bed worked in to full depth, and incorporating Enmag fertilizer at a rate of 70 g/m2 both to be worked into the full depth of topsoil prior to planting. Hedge plants to be planted in single row to centre of bed, with proposed groundcover plants to either side All plants to be well watered in. Bark mulch to whole of finished hedge bed to be 75mm layer of approved quality coarse/medium grade bark mulch. Allow for watering in to field capacity. ORNAMENTAL SHRUBS & GROUNDCOVER PLANTING

All proposed shrub and groundcover areas are to receive 400 mm depth approved quality topsoil beds, over a de-compacted and free draining formation level. All topsoil to comply to BS 3882:2015 Multi Purpose Grade, 'As Dug' (Not a manufactured soil) made weed free, and cultivated, including incorporating a 35mm layer of peat free compost across whole of shrub beds, and incorporating Enmag fertilizer at a rate of 70 g/m2 both to be worked into the full depth of topsoil prior to planting. Specimen plants of 25L size plus, to be planted in 800mm3 pits, and all specimens to have backfill of 80% topsoil /20% approved peat free compost. All plants to be well watered in. Bark mulch to whole of finished shrub beds to be 75mm layer of approved quality coarse/medium

## PROPOSED INDIGENOUS MASS PLANTING TO SLOPE TO LAND NORTH OF DEVELOPMENT SITE

Proposed Indigenous Tree Whips/ Transplants to be notch planted into existing slope, incorporating approved peat free compost. Allow provisionally for rabbit guards - Allow for Tubex Shrub Shelters 130 - 160mm dia X 75cm ht rabbit guards, green to be fixed individually to each transplant, secured with Tubex square section treated softwood stakes 1150mm height with one third fixed into ground. Stakes treated to BS8417:2003 for long term protection against fungi & pests. Each transplant to have a circle of bark mulch 75mm depth x 40mm diameter to base. Transplants to be planted at 3m centres and in a random mix of individuals and stands of between 1-4 of a species. To be planted at least 4m from the proposed structural retaining wall.

## LOW MAINTENANCE STABILISING GRASS MIX TO ANY DISTURBED AREAS TO SLOPE TO LAND TO NORTH OF

Any disturbed areas of ground, those stripped of topsoil, or re-graded next to retaining wall to receive top up of topsoil as necessary - to achieve a 150mm minimum depth, and to be cultivated and made weed free, using non residual herbicide, and seeded with Germinal Seeds A3 Embankments and Drought Mix at a rate of 35g/m2. PROPOSED LAWNS TO FRONT AND REAR GARDENS

Front Lawn areas to receive topsoil to achieve a min 150mm depth of approved on site or imported topsoil, and rear gardens to recieve 400mm depth of tosoil, to BS3882: 2015, cultivated, and made weed free, and laid over a de-compacted and free draining formation level. To receive a cultivated shade tolerant turf from an approved

KEY	TOTAL	SPECIES	Common Name	SPECIFICATION	NO/M2
PROPOSED	TREES				
BET PEN	1	Betula pendula	Silver Birch	Extra Heavy Standard	
				14-16 cm girth 4.25 -6m ht	
				1.8-m clear stem, Containe	er grown
				if planted April- October in	clusive
<b>PROPOSED</b>	SPECI	MEN PLANTS			
AME LAM	2	Amelanchier lamarckii	Snowy Mespilis	50-70L 150- 175cm multi ste	em
MAG STE	2	Magnolia stellata	Star Magnolia	50-70L 150-175cm	
PIE FOR	3	Pierris forestii Forest Flame	Pierris variety	10L 60-80cm	
PHO SUN	2	Phormium tenax Sundowner**	New Zealand Flax	25L 100-125cm	
**Phormiun	n Sunc	downer must be true to species ie	green/bronzed foliage w	ith pink/red	
to margins	only .	No garish red substitutes will be a	ccepted.		
PROPOSED	HEDG	ES			
PRU LAU	82	Prunus laurocerasus Rotundifolia	Cherry Laurel	RB /or 3L CG 60-90cm	4/ lin m
Hedge Pla	nts to	be bushy/ well foliaged. If planted	d April to October to be c	-	1 7
				)	
ORNAMEN	TAL SH	RUBS, & GROUNDCOVERS & EVERO	REEN HERBACEOUS PEENN	IIALS	1
BER COR	5	Bergenia cordifolia	Elephant Ears	2L	5/m2
COT CON	28	Cotoneaster conspicuous Decor		2L 30-40cm	4/m2
HEB RAK	15	Hebe rakaiensis	White flowered Hebe	2L 20-30cm	5/m2
HED HEL	35	Hedera helix	Common Ivy	2L40-60cm (unstaked)	5/ m2
ESC RED	65	Escallonia Red Elf	Dwarf Escallonia	3L 30-40cm	3/m2
EUO EME	16	Euonymous Emerald Gaiety	Groundcover Euonymous	2L20-30cm	5/m2
LON PER	10	Lonicera periclymenum	Common Honeysuckle	3L 40-60cm (unstaked)	3/m2
MAH AQU	28	Mahonia aquifolium	Groundcover	3L 30-40cm	4/m2
PIN PUM	15	Pinus mugho Pumilo*	Dwarf Pine	5L 30-40cm	4/m2
PRU ZAB	35	Prunus Zabeliana	Dwarf Laurel	3L 30-40cm	3/m2
ROS FRA	42	Rosa Frau Dagmar Hastrup	Groundcover Rose	3L 30-40cm	4/m2
SEN SUN	38	Senecio Sunshine*	Senecio	3L 30-40cm	3/m2
SKI RUB	24	Skimmia japonica Rubella	Skimmia	3L 30-40cm	4/m2
VIB DAV	25	Viburnum davidii	Groundcover viburnum	3L 30-40cm	4/m2
VIN MIN	25	Vinca minor	Lesser periwinkle	2L 30-40cm	5/m2
VIN VAR	69	Vinca minor Variegata	Variegated Great Periwinkle	2L 30-40cm	5/m2
VIN BLU	56	Vinca minor Blue and Gold	Variegated Great Periwinkle	2L 20-30cm	5/m2
WIE FOL	38	Wiegela foliis Purpureus	Purple foliaged Wiegela	3L 30-40cm	4/m2
		d Senecio must be bushy/ compa		102.00 100111	1,,,,,,
INDICENOI	A AA 21	SS TREE PLANTING TO SLOPE NORTH	OE DEVELOPMENT CITE		
ALN GLU		Alnus glutinosa	Common Alder	90 120cm 1+1 Transplants	<del> </del>
BET PEN		Betula Pendula	Silver Birch	90-120cm 1+1 Transplants 90-120cm 1+1 Transplants	
PRU AVI		Prunus avium	Wild Cherry	90-120cm 1+1 Transplants	3m centi
SOR AUC		Sorbus aucuparia		-	om centi
JUK MUC	13	sorbus aucuparia	Rowan	90-120cm 1+1 Transplants	
PROPOSED	LOW I	MAINTENANCE STABILISING GRASS	MIX TO SLOPE TO NORTH	OF DEVELOPMENT SITE	
PKOPOSED		MAINTENANCE STABILISING GRASS  eas of ground and those effected			

and seeding with Germinal Seeds( formerly British Seed Houses) A3 Embankments and Drought Mix at a rate

Proposed Lawns to front gardens to receive 150mm topsoil, and rear lawns 400mm topsoil and cultivated

of 35g/m2, inc pre seed fertilizer.

PROPOSED FRONT AND REAR GARDEN LAWNS

and to receive an approved quality shade tolerant cultivated turf.

#### Contractor to allow for all relevant Topsoil Analysis and Certification to be presented prior to any imported topsoil supply and delivery to prove that the topsoil meets BS 3882:2015 Specification for Topsoil and requirements of Multi 1.200 at A1 Purpose Grade, to prove its suitability for trees, shrubs and amenity grass, and to prove that the topsoil is free of contaminants. Topsoil should also preferably be an As Dug ( natural ) topsoil rather than a manufactured topsoil. GENERAL PLANT SUPPLY & PLANTING All plant material to be supplied in accordance with BS 3936 Parts1-4 and 9-10., and B.S. 5326 All plants to the correct species and stock size specified, and to be good specimens characteristic of species. All plants to be supplied free from pest and disease. All tree, shrub, & groundcover species have been specifically selected for their form, height, & individual characteristics, therefore no substitution of species to be carried out without prior consent. Planting operations are to be carried out during suitable weather avoiding periods when ground is frozen ,waterlogged or excessively dry spells. All trees & plants should be watered in well at time of planting. SERVICES & SPECIMEN PIT EXCAVATIONS The landscape contractor should establish positions and depths of all drains & services, including any realigned services, on site prior to any ground modelling or excavation works, and any potential conflict with proposed trees and specimen shrub positions should be brought to attention, and realigned positions agreed, or root directors/ barriers used - to be agreed on site prior to planting. Where necessary contractor to allow for tree pits to be hand dug with care to avoid services. **OUTLINE MAINTENANCE SPECIFICATION** All soft landscape elements are to be maintained and guaranteed by the landscape contractor during 12 months defects liability period if applicable, and thereafter under a separate residents maintenance & management contract arranged by the developer & residents. Regular maintenance operations to development site area to include monthly weeding operations to tree, hedges and shrub areas, pruning as necessary to promote flowering, form etc To include checking and adjusting stakes and ties, watering new hedges, and shrubs, as necessary during prolonged dry periods, mowing grass lawn areas regularly, replacing any plant failures, and repairs to grass APPROXIMATE LINE OF. EXISTING TREES+ areas & topping up bark mulch annually to trees and shrub areas during establishment period. VEGETATION The new mass planting to slope to land above development site to be maintained by the residents management \*XPPROXIMATE LINE OF company, and tree transplants to be subject to a 5 year replacement guarantee in line with LPA requirements EXISTING TREES + with replacements in year 5. VEGETATION PROPOSED INDIGENOUS MASS PLANTING OF TREE YCHIPS AT 3 M. CENTRES: -PROPOSED LOW MAINTENANCE STABILISING GRASS MIX AS PENSTATEMENT TO PIMY DISTURBED AREAS, INCUDING 150 MM TOP UP OF TOPSOIL TO ANY STRIPPED AREAS + REGRADED AREAS EXENT T.B.A. CONTOURS EXTRAPOLATED IMPLEATING CAMPIES OF EXISTING SMALL TREES + LARGE SHRUBS IN REALIER TROTEGED DURING WORKS 2 EXISTING BIRCH PROPOSED GROWN DOVERS TREES CAPPROXIMATE SEONE RETAINING WALL (H) LOCATION + CAHOPY INDICATED) PLANTED IT MAY REQUIRE INTERMITIENT SWATHES: ROMOVAL TO 70107 TER FOCULTIME REMINING YALL CONSTRUCTION TO BOUNDARY, -TBA 105 OF HEIGE TBPEU LAU 128 VIN BUU CGEWAD 20 PRU LAU TON SE basement foor lavel 103.50m ALD 45 YIN VAC PATTO (7 basament from level 102,50m ALD LAYCH HXXH PATIO RETAINED ground floor level 104.35m ALD 5 ESC PED LOCATION FOL -18PRULAU # 28 VIHBU 5 PIN FUM I AME LAMT 6 SEN SUN -18 ROS FIDH SHOUB PLANTING TO BYBDAV

# **NOTES**

7 ELLOBUE

1. This drawing to be read in conjunction with Architects Site Layout, and Structural Engineers road and retaining wall drawings, also any drainage and M& E drawings etc

SHEBRAK-

1 PHOSUN

SPIN-

5WIEFOL

2.. Contractor to establish positions of all drains and services prior to excavation works. Any conflict with proposed tree positions or larger specimen plants to be brought to attention and new positions agreed or root barriers used.

# **LEGEND**

# **VERTICAL ELEMENTS & BOUNDARY TREATMENTS**

Proposed Retaining Wall to New Access road - to Engineers details Proposed Steel parapet railing with Armco Vehicular barrier attached to top of retaining wall to access road- to engineers detail

Proposed Steps to dwellings comprising rendered outer face to retaining walls, buff concrete flag treads, with risers faced with building fascia stone

Proposed 1.1m ht vertical steel railings as parapet/handrails to outer sides of steps Dark charcoal or Black coloured finish to match windows and doors

Proposed 1800mm height feather board timber divisional garden screen fences between adjoining dwellings.

Proposed 1800mm height feather board timber divisional garden screen fences between the properties separated by 1m retaining wall to flights of steps (screen fence to be fixed to platform of upper dwellings, eg 1.8m long posts fixed to upper level path platforms using steel slotted & bolted down base plates?)

Proposed Gates -Feather board to match fencing- with gatepost fixed to rear elevation to allow access space along narrow paths

Existing post & wire fence approx 1-1.2m ht to existing garden boundary retained & New 1m ht Featherboard fence introduced to development side to tidy up the boundary

Proposed Retaining wall approx 900-1500mm ht to engineers details

Proposed Tall Structural Retaining Wall to engineers detail

Proposed Fence to top of tall Structural retaining wall-type TBA with LPA and Engineer

#### HARD SURFACES

15 ALH GW

15 BET PEN

15 PRU ANI

15 SOR ANC

PLANTED IN RANDOMY

STRUCTURAL RETAINING

EXISTING BIRGHT

WORKS.

STRIP ALONG TOP OF

BEC RED

PEDINING WALL IN TRONT OF ARMO BARRIER

PINE TREES RETAINED

+ PROTECTED DURING

MIX + LOCATED AT

LEAGT 4M FROM

MOTCH PLANTED

4.5m wide bitmac service road to engineers details Proposed PC Concrete Road Kerbs set to approx 125mm height

PC concrete Drop kerbs to driveway positions to engineers details Bitmac service strip/ path 1.5 m wide to engineers details

5 Flat top edging Flat top flush concrete pin kerb to engineers details to back of service strip and driveway

Proposed Tegula block paving to Driveways, in random stretcher course pattern eg Tobermore, 'Hydropave Tegula Duo' (Porous Suds paving), over infiltration sub base to engineers details, with a soldier or stretcher course around edge. Colours & pattern TBA to tie in with building vernacular eg Cedar with Slate trim around edge

600mm x 600mm Buff coloured concrete flag paving to patio areas and access paths/ step landings

## **SOFT LANDSCAPE ELEMENTS**

Existing Trees & Vegetation retained and protected during works in accordance with principles in BS5837:2012 as far as feasible

Proposed Hedges - in 400mm depth topsoil beds

Proposed Trees planted in 1200mm x 1200mm x 1200mm pits,

Double stake & cross bar tie

Proposed Ornamental Shrubs, and Groundcover Planting, and Specimens in 400mm depth topsoil beds, with 800mm2 pits for specimens

Proposed Mass Planting of Indigenous Whips/ Transplants to slope to land north of development site

Proposed Low Maintenance Bank Stabilising Grass Mix to areas of reinstatement to slope to land north of development site

Proposed Grass lawns to front of properties, 150mm topsoil and turfing.

Proposed Rear lawns 400mm topsoil and turf (400mm depth to allow future flexibility for cultivation by resident)

# DETAILED LANDSCAPE PROPOSALS PROPOSED RESIDENTIAL DEVELOPMENT HURST PLATT, WAINGATE RD, RAWTENSTALL

Date: June 2017 Scale: 1.200 at A1 Drawn: MT Drwg No. 452. 01

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